



CHAMPAIGN COUNTY BOARD
ENVIRONMENT and LAND USE COMMITTEE AGENDA

County of Champaign, Urbana, Illinois

Thursday, August 7, 2025 - 6:30 p.m.

Shields-Carter Meeting Room

Bennett Administrative Center, 102 E. Main St., Urbana

Committee Members:

Eric Thorsland – Chair

Aaron Esry – Vice-Chair

John Farney

Jennifer Locke

Emily Rodriguez

Jilmala Rogers

Jason Votava

Agenda	Page #
I. Call to Order	
II. Roll Call	
III. Approval of Agenda/Addendum	
IV. Approval of Minutes	
A. May 8, 2025 – Regular Meeting	1 - 5
V. Public Input	
VI. Communications	
VII. <u>New Business: Items for Information Only</u>	
A. Status of Solar Farm Special Use Permits and Zoning Use Permits in Unincorporated Champaign County	6
VIII. <u>New Business: Items to be recommended to the County Board</u>	
A. Subdivision Case 207-25 Ray's Minor Subdivision. Final Plat Approval of a One-Lot Minor Subdivision located in the Southwest Quarter of Section 33 of Township 19N-Range 14W of the Second Principal Meridian in South Homer Township and commonly known as the undeveloped area on the north side of CR 1200 N located 415 feet east of Illinois Route 49.	7 - 27
B. Zoning Case 167-AM-25. Amend the Zoning Map to change the zoning district designation from the AG-1 Agriculture Zoning District to the B-1 Rural Trade Center Zoning District in order to expand operations of a Farm Chemicals and Fertilizer Sales business including storage and mixing of blended fertilizer on a 3-acre tract in the Northwest Quarter of the Northeast Quarter of Fractional Section 19, Township 20N Range 11E of the Third Principal Meridian in Ogden	28 - 53

All meetings are at the Bennett Administrative Center – 102 E Main Street in Urbana – unless otherwise noted. To enter Bennett after 4:30 p.m., enter at the south (main) entrance located off Main Street. Champaign County will generally, upon request, provide appropriate aids and services leading to effective communication for qualified persons with disabilities. Please contact Administrative Services, 217-384-3776, as soon as possible but no later than 48 hours before the scheduled meeting.

CHAMPAIGN COUNTY BOARD
ENVIRONMENT and LAND USE COMMITTEE (ELUC)
August 7, 2025, Agenda

Township located immediately east of the existing Ehler Brothers facility with an address of 2475 E CR 2100 N, St. Joseph.

IX. Other Business

A. Monthly Reports -None

X. Chair's Report

XI. Designation of Items to be Placed on the Consent Agenda

XII. Adjournment



Champaign County Board
Environment and Land Use Committee (ELUC)
County of Champaign, Urbana, Illinois

MINUTES – Pending Approval

DATE: Thursday, May 8, 2025
TIME: 6:30 p.m.
PLACE: Shields-Carter Meeting Room
Brookens Administrative Center
1776 E Washington, Urbana, IL 61802

Committee Members

Present	Absent
	Aaron Esry (Vice-Chair)
John Farney	
Jennifer Locke	
Emily Rodriguez	
	Jilmala Rogers
Chris Stohr	
Eric Thorsland (Chair)	

County Staff: John Hall (Zoning Administrator), and Mary Ward (Recording Secretary)

Others Present: None

MINUTES

I. Call to Order

Committee Chair Thorsland called the meeting to order at 6:30 p.m.

II. Roll Call

Roll call was taken, and a quorum was declared present.

III. Approval of Agenda/Addendum

MOTION by Mr. Farney to approve the agenda; seconded by Ms. Rodriguez. Upon voice vote, the **MOTION CARRIED** unanimously.

IV. Approval of Minutes

A. April 10, 2025 – Regular Meeting

MOTION by Ms. Locke to approve the April 10, 2025 minutes; seconded by Mr. Stohr. Upon voice vote, the **MOTION CARRIED** unanimously.

32 **V. Public Input**

33
34 There was no public input.

35
36 **VI. Communications**

37
38 Mr. Stohr shared the following: The Illinois Groundwater Association will be meeting June 6 at the I-Hotel for
39 anyone wanting to learn more about groundwater. Please see him for more information. The Illinois Junior
40 Academy of Sciences held an Expo at the State Farm Center over the weekend. It was a big success. The
41 Washington Post has an article on Subsidence Due to Water Withdrawals. Chicago is one of the cities most
42 affected in the U.S. The Carbon Sequestration Task Force had their first meeting on April 21. They hope to meet
43 again around May 29th. He also shared that the County had put out a press release regarding the Task Force and
44 that he had just been interviewed by WCIA prior to tonight's meeting.

45
46 **VII. New Business: Items to be Approved by ELUC**

47 **A. Recreation & Entertainment License for Araceli Gutierrez for a Spanish Rodeo at the Champaign**
48 **County Fairgrounds, 1302 North Coler Avenue, Urbana, IL to be held on June 8, 2025.**

49
50 **MOTION** by Ms. Rodriguez to approve the Recreation & Entertainment License for a Spanish Rodeo at
51 the Champaign County Fairgrounds; seconded by Ms. Locke.

52
53 There were no questions or discussion. Upon voice vote, the **MOTION CARRIED** unanimously.

54
55 **B. Request by Anthony Donato of Donato Solar for a Zoning Ordinance text amendment to do the**
56 **following:**

- 57 1. Delete the requirement for a minimum credit rating for banks that provide a letter of
58 credit for a PV solar farm decommissioning and site reclamation plan; and
59
60 2. Allow surety or reclamation bonds or escrow accounts in addition to letter of credit
61 as alternative forms of financial assurance for a PV solar farm decommissioning and
62 site reclamation plan.

63
64 **MOTION** by Mr. Stohr to consider the request by Anthony Donato of Donato Solar for a Zoning
65 Ordinance text amendment; seconded by Mr. Farney.

66
67 Mr. Hall said Donato Solar has approval for four solar arrays with data centers in Champaign County.
68 A letter of credit is required for the Decommissioning and Site Reclamation Plan. Three of them came
69 in just fine but on the fourth one, the other thing our ordinance requires, is that the bank must be at
70 least an A-rated bank. The bank that had provided the previous letters had lost their rating by the
71 time of the fourth application. It was a bank with a local branch. There are 38 banks in the country
72 that pay for and qualify for this rating. They were finally able to secure a letter of credit. In the
73 process of getting this they decided this didn't make sense. They could have provided an escrow
74 account on day one. The ordinance does not allow for escrow accounts. It also does not allow for a
75 co-sign or backup agreement where a large bank would agree to backup a more local bank. Those are
76 two options that would work but do not meet the ordinance requirements.

77 The letter also talks about surety and reclamation bonds. There is currently a request for a solar farm
78 that is at the Zoning Board of Appeals. They are requesting a waiver to use surety bonds. A previous
79 County Board was set on having a letter of credit. Mr. Hall feels that the committee might want to
80 wait to take action as you'll be faced with a waiver request for an upcoming solar farm.

81
82 Mr. Thorsland asked if a decision is not made tonight, if it will prevent Donato from moving
83 forward. Mr. Hall said no, they have provided everything needed at this point.

84
85 At this point, Michael Beem, VP of Finance for Gail Technologies/Donato Solar, was invited to speak
86 and answer questions. His job is to help find financing and letters of credit fall under finance.
87 Everything Mr. Hall stated is correct. They are trying to make sure they are in compliance and not have
88 any issues down the road. A bank that has issued a letter of credit may decide not to re-issue one
89 when it expires. Big banks are not interested in a \$35,000 letter of credit. There are cost for getting
90 that Moody's A rating or S & P rating. There are ways to do this. Money could be put in an escrow
91 account with the County as a co-signer.

92
93 Mr. Stohr asked what other solar arrays have done regarding letters of credit. Mr. Hall said that
94 Donato is the only one that has solar arrays, solar farms are different. They are much larger in size,
95 and they have not had any issues with them providing a letter of credit. This is the first time we've
96 worked with a local developer working with a local bank. We have asked the State's Attorney for
97 comments on surety bonds. We should have those by the Board meeting.

98
99 Mr. Beem added that it's the bank rating they have a problem with, not getting the letter of credit.
100 Other types of projects do not require this. Surrounding counties do not have the requirement for the
101 bank rating.

102
103 Ms. Locke asked if this requirement is a relic of our outdated ordinance. Mr. Hall said state law says
104 the type of financial assurance, including ratings/bonds, are up to the County. With the understanding
105 of the timing and waiting on the report from the State's Attorney, Ms. Locke said she may not say yes
106 tonight, but would support this in the future.

107
108 Mr. Farney would like to hear from the State's Attorney on the surety bond, letter of credit, escrow
109 issue before we decide. He feels the committee should let the process play out at ZBA and then
110 address it.

111
112 Mr. Thorsland asked about other bank ratings and if we could lower the rating requirement. Mr.
113 Beem said state law says the County cannot require anything more restrictive and the bank rating
114 requirement is more restrictive. They want to be able to stay in compliance in the future.

115
116 Mr. Thorsland acknowledged we are not in compliance with state law. He feels first we should see
117 what ZBA comes up with as a recommendation. Donato is set for now. This would give us time to
118 do this right. He asked if we should set a date or bring it back after ZBA makes their decision. Mr.
119 Hall said he would like to wait until the ZBA has made their decision on the case already before them.

Plus, we already have two big text amendments in process and several smaller items that he would like to get cleared up. He will bring it back after one of the text amendments is complete and the ZBA process is done. It will probably be about four to five months from now. He will let Donato Solar know when it comes back.

Mr. Beem asked what if one of the letters of credit expire and they can't get it renewed? A brief discussion was held on how they could be handled. Mr. Hall said at this time, he could handle that administratively. Mr. Stohr asked if there was any difference in cost between the letter of credit, surety bond, escrow, etc. Mr. Beem said they would all be the same amount.

The committee agreed they should wait for ZBA to run its course and bring this back later, possibly in September.

III. New Business: Items to be recommended to the County Board

A. Annual Facility Inspection Report for the period 4/1/24 – 3/31/25 for Champaign County's National Pollutant Discharge Elimination System (NPDES) Municipal Separate Storm Sewer System (MS4) Storm Water Discharge Permit with the Illinois Environmental Protection Agency (IEPA)

MOTION by Mr. Stohr to recommend County Board approval of a resolution approving the Annual Facility Inspection Report for the period 4/1/24 – 3/31/25; seconded by Mr. Farney.

Mr. Hall gave an update on the report. He is still waiting on the new standards. They were able to get the storm water survey done this year. The survey deals with the environmental justice areas. He is waiting to see if environmental justice remains with the program. Most of the storm water issues are related to local streets and not County highways. We couldn't do anything the storm water issues if we wanted to because they are not our streets.

In the past, the County Board has had an issue with the maps in the report. The current maps are working maps and not presentation documents. Mr. Hall will be working with RPC to try to improve the maps for next year.

Mr. Stohr asked, since he is working with RPC, will he be working with the GIS Consortium? Mr. Hall said not on this but that he would like to see the County MS4 as an overlay in the GIS maps. He will try to do that in the coming year.

Upon voice vote, the **MOTION CARRIED** unanimously.

IX. Other Business

A. Monthly Reports -None

There were no monthly reports.

- 165 X. **Chair’s Report**
166
167 There was no Chair’s report.
168
169 XI. **Designation of Items to be Placed on the Consent Agenda**
170
171 Item VIII. A. is to be placed on the Consent Agenda.
172
173 XII. **Adjournment**
174
175 Chair Thorsland adjourned the meeting at 7:11 p.m.

**General Status of Solar Farm & Solar Array Special Use Permits and Zoning Use
Permits in Unincorporated Champaign County**

July 28, 2025

Zoning Case Number SF= solar farm SA= solar array	Township / Section	Date of Special Use Permit Approval	Date of Zoning Use Permit Approval	Date of Zoning Compliance Certificate Approval
898-S-18 (SF) (BayWa)	Sidney / 11- 15, 22, 23	1/24/2019	10/10/2024	Not Yet Issued
903-S-18 (SF)	Sidney / 11	11/27/2018	5/19/2020	8/16/2021
			9/13/2024 (second phase)	Not Yet Issued
907-S-18 (SF)	St. Joseph / 12	11/27/2018	6/03/2025	Not Yet Issued
922-S-18 (SF) (Solamerica)	South Homer / 9	2/02/2019	No application yet	
064-S-22 (SA) (Donato)	Rantoul / 10	11/17/2022	5/09/2023	Not yet issued
070-S-22 (SA) (Donato)	Somer/ 32	2/23/23	8/07/2023	Not yet issued
074-S-23 (SF) (Medanos)	South Homer/ 4	5/18/2023	12/23/2024	Not yet issued
080-S-22 (SA) (Donato)	Urbana/ 27	3/24/2023	9/25/2023	Not yet issued
083-S-22 (SA) (Donato)	Hensley/ 24	3/24/2023	8/30/2023	Not yet issued
099-S-23, 100-S-23 (SF) (Pivot Energy)	Pesotum / 34	11/21/2023	No application yet	
111-S-23 (SA) (Donato)	Scott / 12	6/20/2024	5/01/2025	Not yet issued
115-S-23 (SF) (Pivot Energy)	Sidney/ 12	5/23/2024	No application yet	
126-S-23, 127-S-23 (SF) (Bonacci)	Urbana/ 27	5/23/2024	No application yet	
144-S-24 (SF) (BayWa)	Sidney/ 12,13,14, 15,23,24	4/24/2025	No application yet	
162-S-25 (SF) (Summit Ridge)	Mahomet / 17	Still in public hearing		

TO: **Environment and Land Use Committee**
FROM: **Charlie Campo, Senior Planner**
John Hall, Zoning Administrator & Subdivision Officer
DATE: **July 28, 2025**
RE: **Case 207-25 Ray's Minor Subdivision**

Owner/Subdivider:
Tim and Talar Ray
1800 Magnolia Dr.
St. Joseph, IL 61873

Engineer/Surveyor:
Kyle Schultze PLS
Precision Engineering Group
P.O. Box 784
Champaign, IL 61824-0784

REQUESTED ACTION

The petitioner requests Minor Plat approval for a one-lot, 3.4-acre subdivision in the CR Conservation-Recreation Zoning District in Section 33 of South Homer Township.

The proposed lot meets all Zoning Ordinance requirements. The proposed subdivision appears to meet all of the minimum subdivision standards, but the Final Plat does require two waivers. Approval at this time requires the following waivers (see Attachment H: Draft Findings):

1. Waive the requirement of paragraph 9.1.2 q. for not showing percolation data for both proposed lots on the face of the Final Plat.
2. Waive the requirement of paragraph 9.1.2 r. for certification of the proposed lot and soil characteristics for private septic disposal systems to be recorded on the Final Plat.

BACKGROUND

The petitioner would like to create a residential lot, all available exceptions from the Illinois Plat Act (765 ILCS 205) have been used in prior lot splits from the original parent tract, so they need approval for a Minor Subdivision to create a legal lot. The petitioner was told of the need for subdivision approval upon application for a Zoning Use Permit on April 17, 2025. The Zoning Use Permit was approved on July 28, 2025.

MINIMUM SUBDIVISION STANDARDS AND AREA GENERAL PLAN APPROVAL

The Minimum Subdivision Standards were added to the Area General Plan section of the *Subdivision Regulations* on July 8, 2004, in Subdivision Case 175-04, Part B, which also added the requirement that any subdivision needed Area General Plan approval except for subdivisions pursuant to a Rural Residential Overlay (RRO) map amendment. Area General Plan approval is only by ELUC. The subject subdivision is not pursuant to an RRO amendment and so Area General Plan requirements are applicable.

Attachment C reviews the conformance of the proposed subdivision with those standards, and the proposed subdivision appears to meet all of the minimum subdivision standards.

Suitability Standard 5 from Section 6.1.5 a. of the Subdivision Ordinance states, “When a connected public sanitary sewer is not available, the septic suitability of the soils occupied by each proposed lot must be the most suitable soils on the larger tract from which the subdivision is proposed.” A review of the property and proposed septic location was done by Jeff Blackford, Environmental Health Programs Coordinator at Champaign County Public Health Department and the property appears suitable for a private septic system.

APPLICABLE ZONING REGULATIONS

The subject property is zoned CR Conservation Recreation (see Attachment A: Zoning Map). The proposed lot meets the minimum lot requirements; Table 1 below summarizes those requirements:

Lot Characteristic	Requirement (or Limit)	Proposed Lot 1	Notes
Lot Area (acres)	1.00 acre minimum	3.4 acres <i>(1 acre exclusive of road right-of-way)</i>	COMPLIES: EXCEEDS MINIMUM REQUIREMENT
Lot Frontage (feet)	20 feet minimum	110 feet	COMPLIES: MEETS MINIMUM REQUIREMENT
Lot Depth (feet)	80.00 minimum	352 feet	COMPLIES: EXCEEDS MINIMUM REQUIREMENT
Average Lot Width (feet)	200 feet minimum	228.6 feet	COMPLIES: MEETS MINIMUM REQUIREMENT
Lot Depth to Width	3.00 : 1.00 maximum	1.54 : 1.00	COMPLIES: LESS THAN MAXIMUM ALLOWED

NATURAL RESOURCE REPORT / SOIL CONDITIONS

A Natural Resource Information Report from Champaign County Soil and Water Conservation District was applied for in May 2025 and the report has not yet been completed. The subject property is an existing remainder lot from a larger parent tract that had other lots divided off from it over the years. There are no soils on the property considered Best Prime Farmland.

DRAINAGE, STORMWATER MANAGEMENT, AND FLOOD HAZARD STATUS

The subject property is not in any Drainage District.

The Subsidiary Drainage Plat received July 24, 2025 (see Attachment D), shows existing contours on the proposed lots. The highest contour elevation on proposed Lot 100 outside the road-right of way is approximately 667 feet mean sea level (msl), located near the south end of the lot. The lowest contour on Lot 101 is 634 feet msl located near the northeast property line. Slope between the highest and lowest contours is 6%.

A small part of the proposed lot is in the Special Flood Hazard Area (SFHA), per FEMA FIRM Panel

17019C0350D, with an effective date of October 2, 2013.

The proposed subdivision is exempt from the Storm Water Drainage Plan per Section 4.2 of *the Storm Water Management and Erosion Control Ordinance*.

PUBLIC IMPROVEMENTS

No public improvements are indicated or required in this subdivision.

SOIL SUITABILITY FOR SEPTIC SYSTEMS

A Soil Evaluation Report was prepared by an Illinois Certified Soil Classifier and reviewed by Jeff Blackford, Environmental Health Programs Coordinator at Champaign County Public Health Department, and the property appears suitable for a private septic system.

ATTACHMENTS

- A Subdivision Case Maps (Location, Land Use, Zoning)
- B Final Plat for Ray's Minor Subdivision received July 24, 2025
- C Subsidiary Drainage Plat received July 24, 2025
- D Preliminary Assessment of Compliance with Minimum Subdivision Standards
- E Soil Evaluation Report by Galen Litwiller, Certified Professional Soil Classifier, received on July 24, 2025
- F Email from Jeff Blackford, Champaign County Public Health Department
- G Site Plan for Zoning Use Permit Application 107-25-02 submitted April 17, 2025
- H Draft Findings for Waivers of Final Plat Requirements

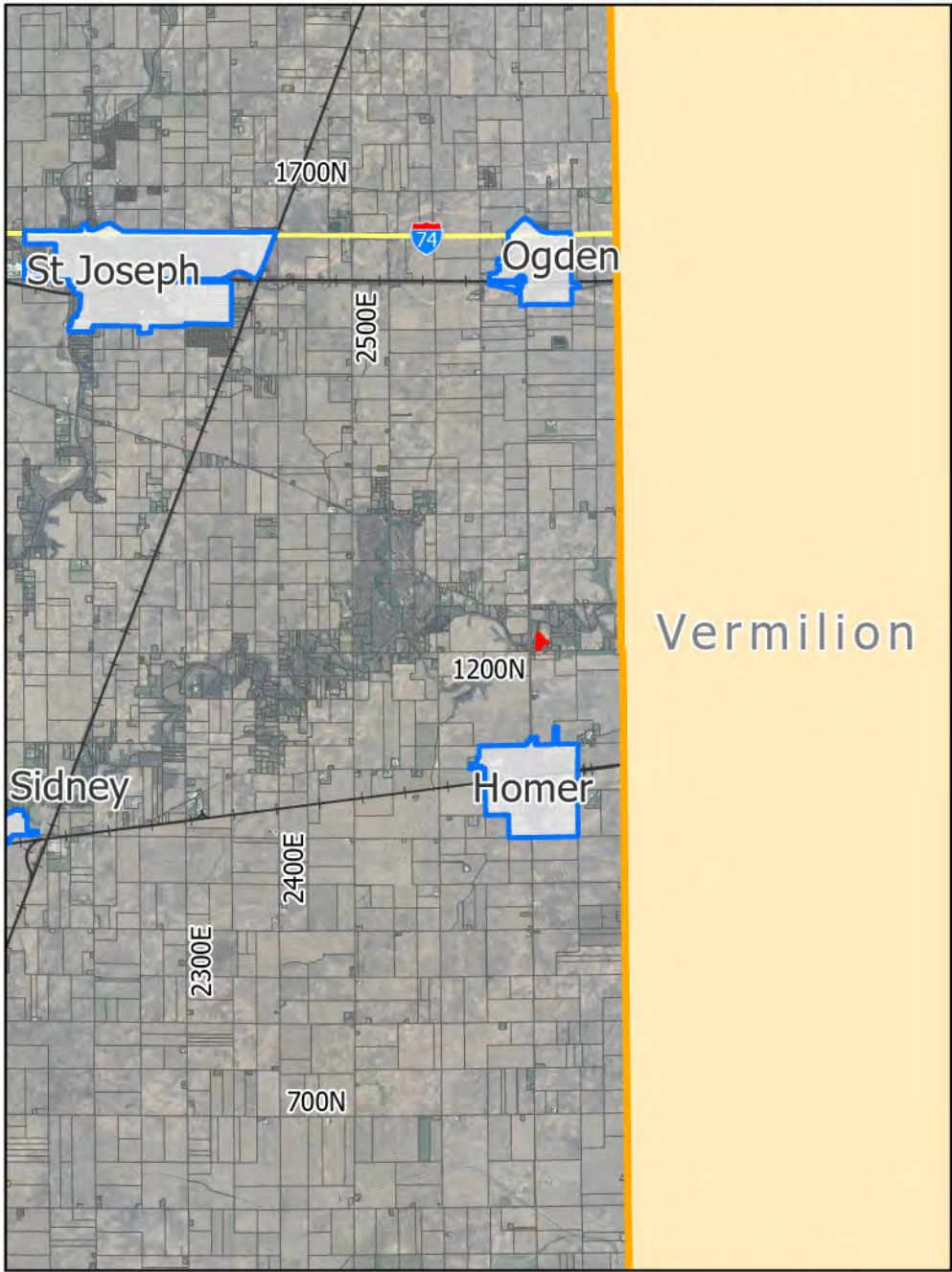
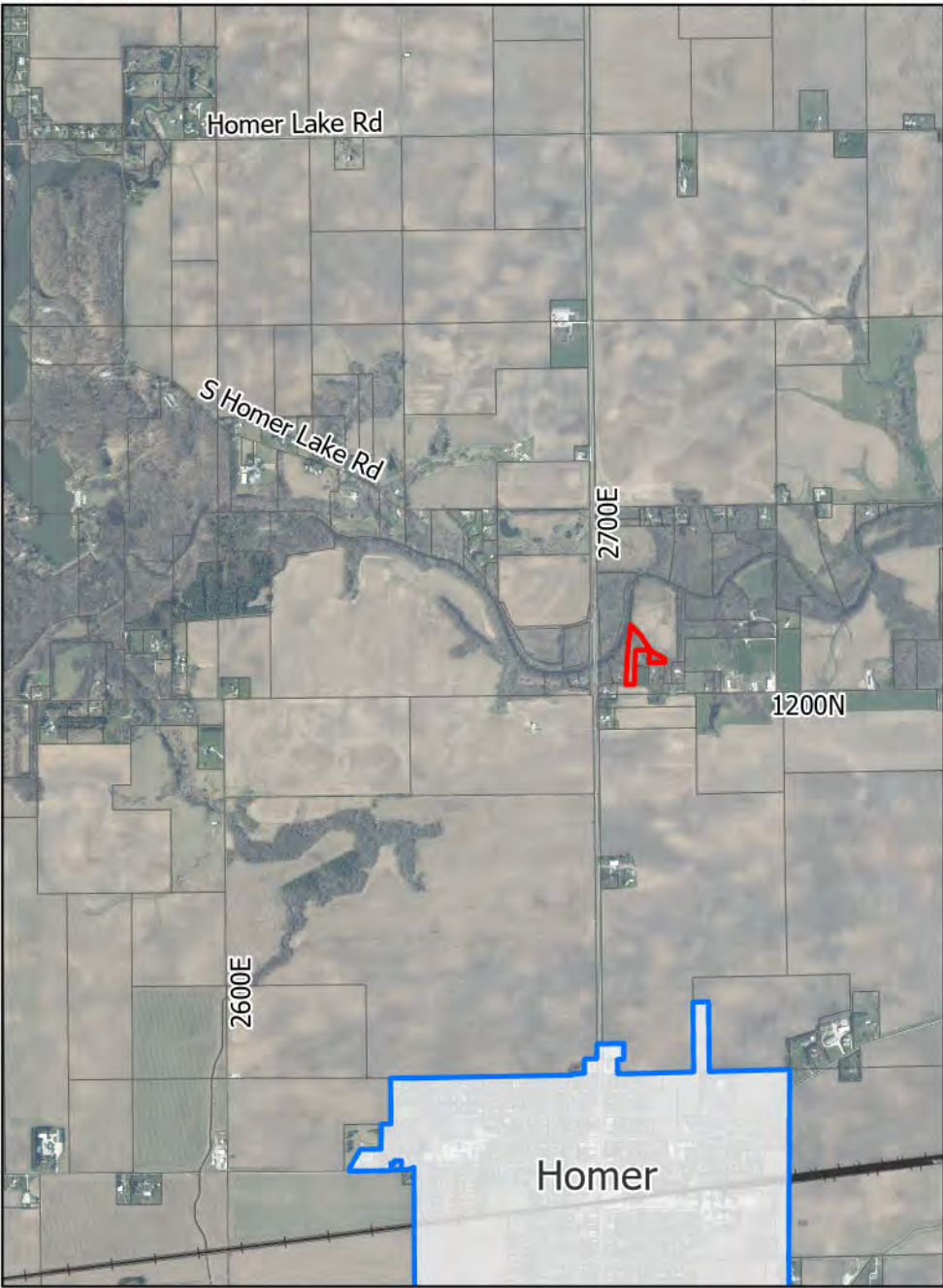
Location Map

Case 207-25

August 7, 2025

Subject Parcel

Parcel location in Champaign County



Subject Parcel

Municipal Boundary

00.51

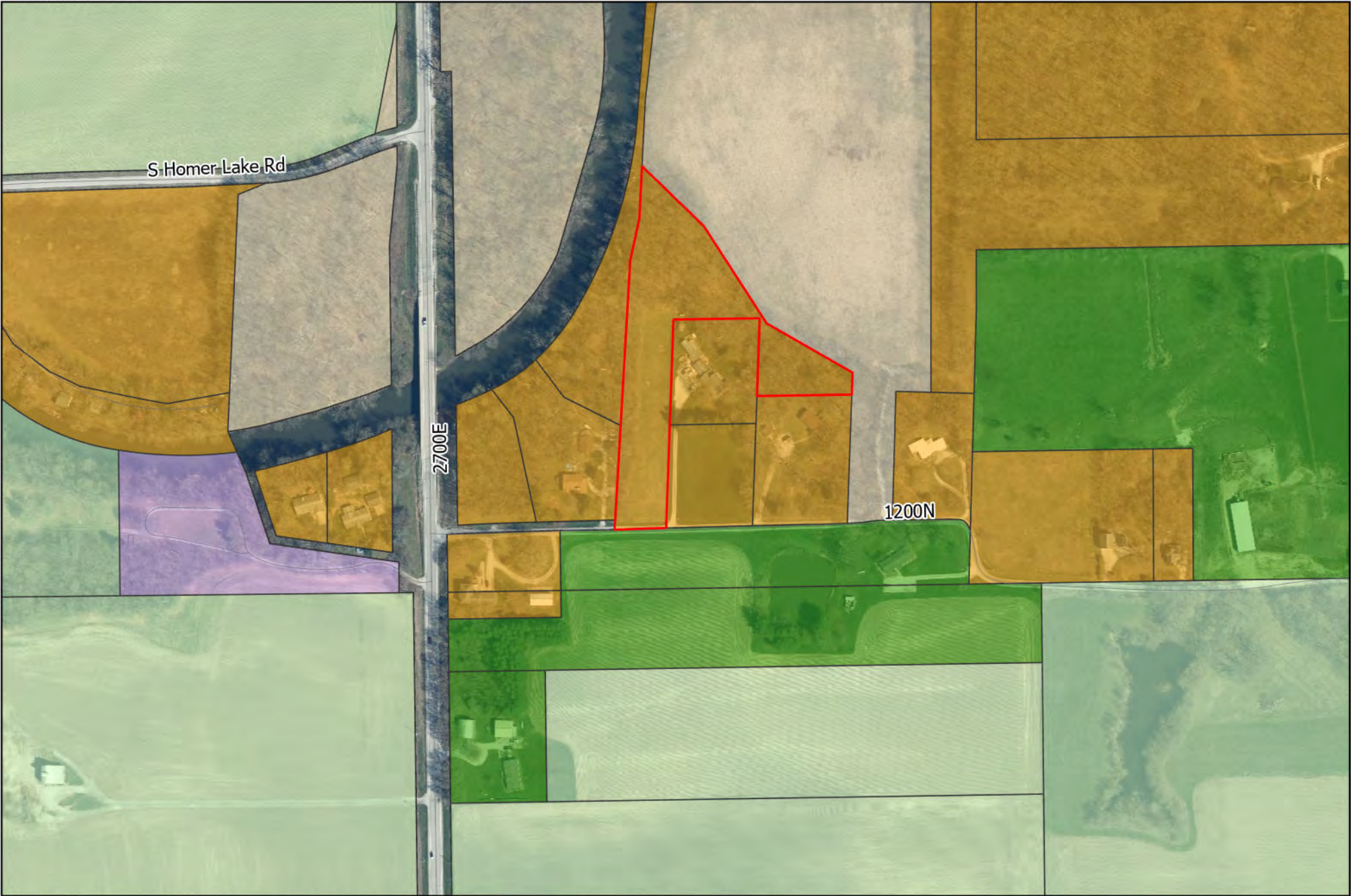
Miles

024

Miles

N

PLANING & ZONING



Subject Parcel

Agricultural

Forest Preserve District

Residential

Agricultural/Residential

Cemetery

0300600

Feet

N

PLANNING & ZONING



Subject Parcel

AG-1 Agriculture

AG-2 Agriculture

CR Conservation-Recreation

B-2 Neighborhood Business

0

300

600

Feet

N

PLANNING & ZONING

Floodplain Map

Case 207-25
August 7, 2025

Floodplain



This map was prepared with geographic information system (GIS) data created by the Champaign County GIS Consortium (CCGIS), or other CCGISC member agency. These entities do not warrant or guarantee the accuracy or suitability of GIS data for any purpose. The GIS data within this map is intended to be used as a general index to spatial information and not intended for detailed, site-specific analysis or resolution of legal matters. Users assume all risk arising from the use or misuse of this map and information contained herein. The use of this map constitutes acknowledgement of this disclaimer.

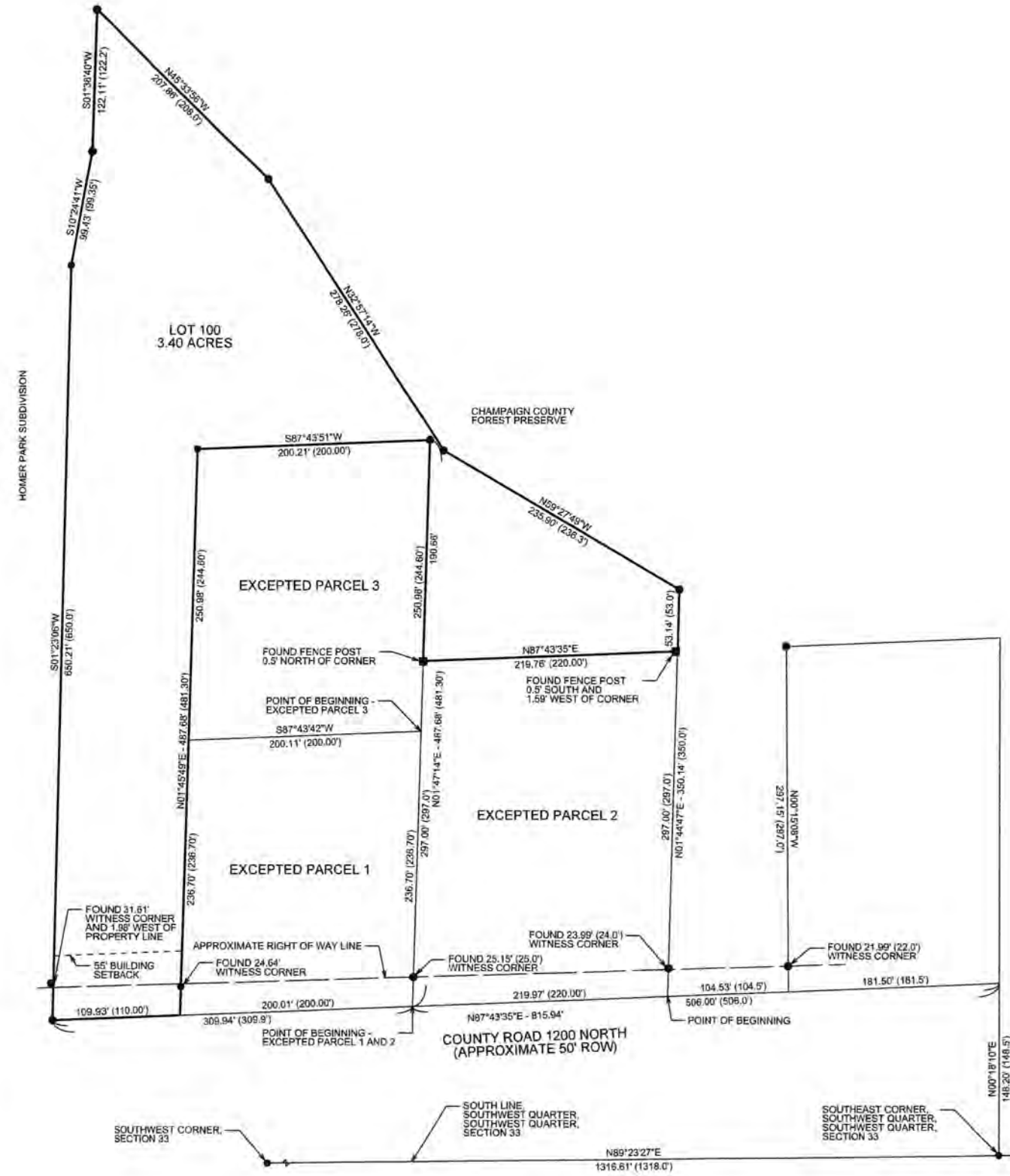
0.02
mi

Date: Monday, July 28, 2025



RAY'S MINOR SUBDIVISION

PART OF THE SOUTHWEST QUARTER OF SECTION THIRTY THREE,
TOWNSHIP NINETEEN NORTH, RANGE FOURTEEN WEST OF THE
SECOND PRINCIPAL MERIDIAN, CHAMPAIGN COUNTY, ILLINOIS.



OWNER'S CERTIFICATE

WE, TIM AND TALOR RAY, ARE THE SOLE OWNER'S OF THE LAND DESCRIBED ON
THIS PLAT, AND WE HAVE CAUSED THE SAME TO BE SURVEYED.

DATED THIS 25 DAY OF JULY, 2025.
TIM RAY
TALOR RAY

I, _____, HIGHWAY COMMISSIONER, OF
TOWNSHIP DO HEREBY CERTIFY THAT THIS PLAT HAS BEEN REVIEWED BY ME
AND APPROVED WITH RESPECT TO ROADWAY ACCESS AND OTHER MATTERS
UNDER MY JURISDICTION.

DATED THIS _____ DAY OF _____, A.D., 2025.
TOWNSHIP HIGHWAY COMMISSIONER

APPROVED THE _____ DAY OF _____, A.D., 2025.
CHAMPAIGN COUNTY BOARD

CHAIRMAN

CHAMPAIGN COUNTY ENVIRONMENT AND LAND USE COMMITTEE

CHAIRMAN

SUBDIVISION OFFICER

LEGAL DESCRIPTION

BEGINNING 118.8 FEET NORTH OF THE SOUTH LINE OF THE SOUTHWEST
QUARTER OF SECTION 33, TOWNSHIP 19 NORTH, RANGE 14 WEST OF THE
SECOND PRINCIPAL MERIDIAN, AND 286 FEET WEST OF THE EAST LINE OF THE
SOUTHWEST QUARTER OF SAID SOUTHWEST QUARTER; THENCE S87°58'1\"W
104.5 FEET ON THE CENTER LINE OF THE PUBLIC ROAD TO THE TRUE POINT OF
BEGINNING; THENCE N02°01'1\"E 350.0 FEET; THENCE N59°11'2\"W 238.3 FEET;
THENCE N52°44'2\"W 278.0 FEET; THENCE N45°18'1\"W 208.0 FEET TO THE EAST
LINE OF HOMER PARK SUBDIVISION; THENCE S00°00'0\"E ALONG THE EAST LINE OF
HOMER PARK SUBDIVISION TO THE CENTER LINE OF THE PUBLIC ROAD; THENCE
EAST ALONG THE CENTER LINE OF THE PUBLIC ROAD A DISTANCE OF 335.70
FEET, MORE OR LESS TO THE POINT OF BEGINNING, SAVE AND EXCEPT THE
FOLLOWING PORTIONS THEREOF:

EXCEPTED PARCEL 1:

BEGINNING 118.8 FEET NORTH OF THE SOUTH LINE OF THE SOUTHWEST
QUARTER OF SECTION 33, TOWNSHIP 19 NORTH, RANGE 14 WEST OF THE
SECOND PRINCIPAL MERIDIAN, AND 506 FEET WEST OF THE EAST LINE OF THE
SOUTHWEST QUARTER OF SAID SOUTHWEST QUARTER; RUNNING THENCE
WEST 200 FEET PARALLEL WITH SAID SOUTH LINE; THENCE NORTH 238.7 FEET
PARALLEL WITH SAID EAST LINE; THENCE EAST 200 FEET PARALLEL WITH SAID
SOUTH LINE; AND THENCE SOUTH 236.7 FEET TO THE PLACE OF BEGINNING,
ENCOMPASSING APPROXIMATELY 1.09 ACRES, SITUATED IN CHAMPAIGN
COUNTY, ILLINOIS.

EXCEPTED PARCEL 2:

BEGINNING AT A POINT 506 FEET WEST OF A POINT 8 RODS NORTH OF THE
SOUTHEAST CORNER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST
QUARTER OF SECTION 33, TOWNSHIP 19 NORTH, RANGE 14 WEST OF THE SECOND PRINCIPAL
MERIDIAN, IN CHAMPAIGN COUNTY, ILLINOIS; THENCE NORTH A DISTANCE OF
287 FEET; THENCE EAST 220 FEET; THENCE SOUTH 287 FEET; THENCE WEST 220
FEET TO THE PLACE OF BEGINNING.

EXCEPTED PARCEL 3:

COMMENCING AT THE SOUTHEAST CORNER OF THE SOUTHWEST QUARTER OF
THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 19 NORTH, RANGE 14
WEST OF THE SECOND PRINCIPAL MERIDIAN; THENCE NORTH 118.8 FEET ON
THE EAST LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER;
THENCE WEST 506 FEET PARALLEL WITH THE SOUTH LINE OF SAID SECTION;
THENCE 84°08'20\" TO THE RIGHT 238.7 FEET TO A TRUE POINT OF BEGINNING;
THENCE CONTINUING NORTHERLY 244.6 FEET ON THE COURSE LAST
DESCRIBED; THENCE WEST 200 FEET PARALLEL WITH SAID SOUTH LINE;
THENCE 85°51'40\" TO THE LEFT 244.6 FEET; AND THENCE EAST 200 FEET TO THE
POINT OF BEGINNING, SITUATED IN CHAMPAIGN COUNTY, ILLINOIS.

NOTE:
1. SCRIVENOR ERROR CALL SHOULD BE WRITTEN AS 'THENCE SOUTH ALONG
THE _____'.
2. SCRIVENOR ERROR THIS PORTION OF THE CALL SHOULD BE REMOVED.

SURVEYOR'S NOTES

- FIELD WORK WAS COMPLETED ON JUNE 5, 2025.
- THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM
STANDARDS FOR A BOUNDARY SURVEY.
- SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR
CONSIDERED AS A PART OF THIS SURVEY.
- THERE HAS BEEN NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF
RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY
OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE. THERE
MAY EXIST OTHER DOCUMENTS OF RECORD WHICH WOULD AFFECT THIS PARCEL.
- A PORTION OF THE PROPERTY COVERED BY THIS SUBDIVISION IS LOCATED WITHIN A
FLOOD HAZARD AREA AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT
AGENCY BY FIRM 17018C0500D DATED 10/02/2013.
- A PORTION OF THIS SUBDIVISION IS LOCATED WITHIN 500 FEET OF ANY SURFACE DRAIN
OR WATER COURSE SERVING A TRIBUTARY AREA OF 640 ACRES OR MORE.
- ALL MEASURED BEARINGS AND COORDINATES ON THE FACE OF THE PLAT ARE ON
ILLINOIS STATE PLANE COORDINATE SYSTEM - EAST ZONE (2011).

DRAINAGE STATEMENT

WE HEREBY STATE THAT TO THE BEST OF OUR KNOWLEDGE AND
BELIEF THE DRAINAGE OF SURFACE WATERS OF THIS PLAT WILL
NOT BE CHANGED BY THE CONSTRUCTION OF THE IMPROVEMENTS
OF THIS SUBDIVISION OR ANY PART THEREOF OR THAT IF SUCH
SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE
PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND
DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS OR
DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE AND THAT
SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE
WITH THE GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS
TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING
PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

SIGNED AND SEALED THIS 24TH DAY OF JULY, 2025.

MARK A. MILLER
ILLINOIS LICENSED PROFESSIONAL
ENGINEER NO. 062.056290
LICENSE EXPIRES 11/30/2025

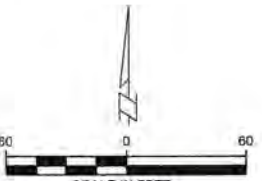


SURVEYOR'S CERTIFICATE

I, KYLE A. SCHULTZE, BEING ILLINOIS PROFESSIONAL LAND SURVEYOR NUMBER
3920, DO HEREBY CERTIFY THAT UNDER MY DIRECT SUPERVISION I HAVE
CAUSED A SURVEY TO BE MADE AND A PLAT TO BE DRAWN OF THE TRACTS OF
LAND DESCRIBED HEREON. I FURTHER CERTIFY THAT AS A PART OF THE
SURVEY I HAVE FOUND OR SET SURVEYING MONUMENTS AS SHOWN AND THAT
THIS PLAT IS A TRUE REPRESENTATION THEREOF.

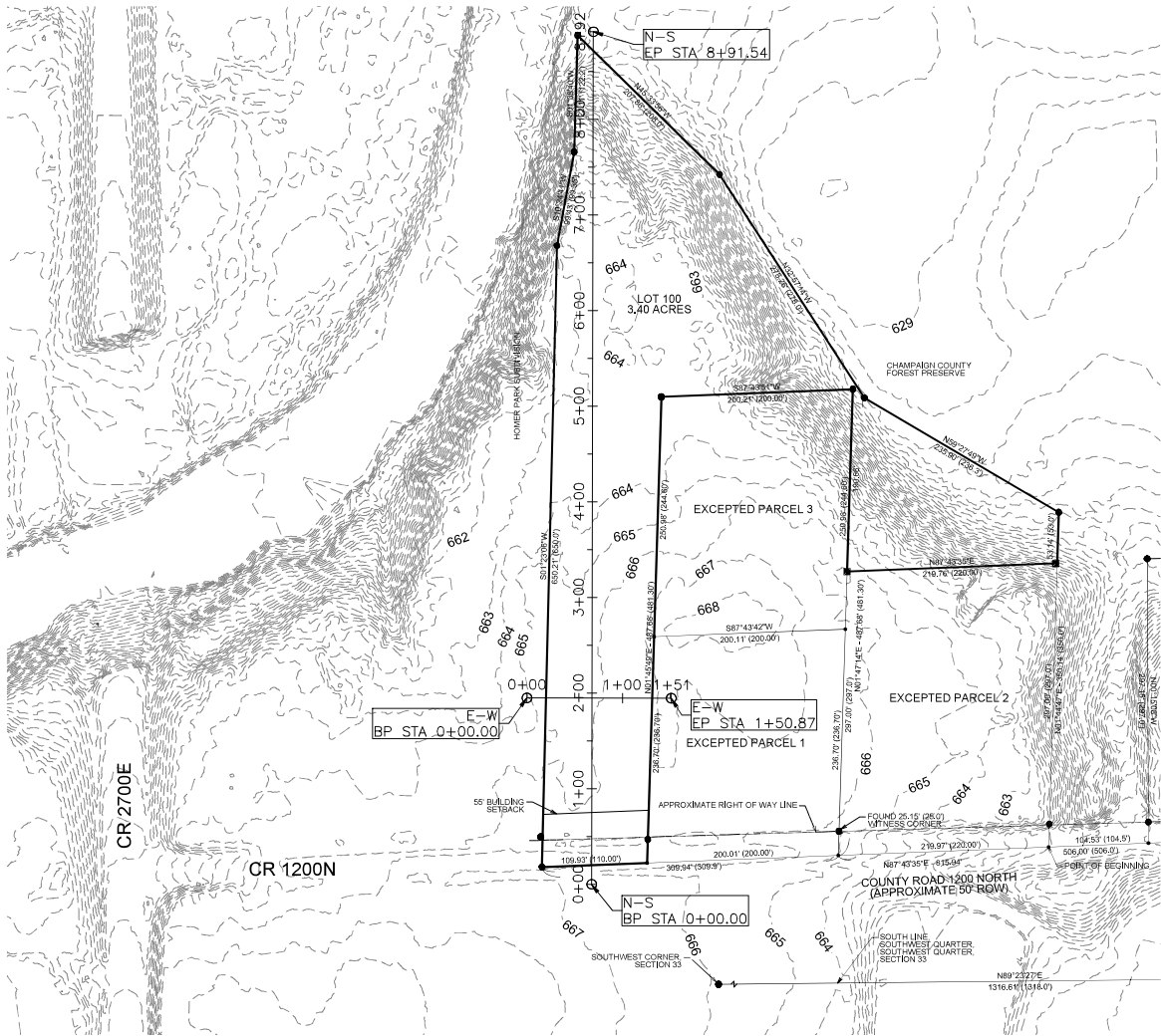
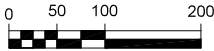
SIGNED AND SEALED THIS 24TH DAY OF JULY, 2025.

KYLE A. SCHULTZE
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3920
LICENSE EXPIRES 11/30/2025

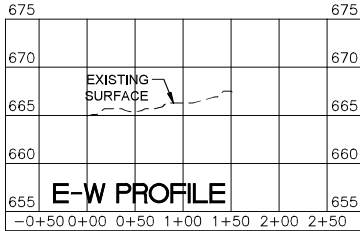


- LEGEND
- FOUND FENCE POST
 - IRON PIN FOUND UNLESS OTHERWISE NOTED
 - MAG NAIL SET
 - IRON PIN SET (1/2\" DIA. X 30\" LONG)
WITH YELLOW SURVEYOR'S CAP 'PRECISION FIRM 7585'
 - MEASURED BEARING AND DISTANCE
 - RECORD BEARING AND DISTANCE
 - PROPERTY LINE

REV. DATE:	REVISION MADE:
DATE: 07/24/2025	SCALE: AS SHOWN
FIELD BOOK:	DRAWN BY: KAS
CHECKED BY: KAS	
FINAL PLAT	
RAY'S MINOR SUBDIVISION PART OF SEC. 33, T.19 N., R. 14 W., 2ND P.M. HOMER, ILLINOIS	
PRECISION ENGINEERING GROUP, INC. P.O. BOX 784 CHAMPAIGN, IL 61824-0784 PHONE: 217.260.4751 CIVIL ENGINEERING - LAND SURVEYING ILLINOIS DESIGN FIRM REGISTRATION NO. 184007588	
FILE # 54325001	
SHEET 1 OF 1	



SCALE:
HORZ. 1"=100'
VERT. 1"=10'



DRAINAGE STATEMENT

We hereby state that to the best of our knowledge and belief the drainage of surface waters of this plat will not be changed by the construction of the improvements of this subdivision or an part thereof or that if such surface water drainage will be changed, reasonable provisions have been made for the collection and diversion of such surface waters into public areas or drains which the subdivider has a right to use and that such surface waters will be planned for in accordance with the generally accepted engineering practices so as to reduce the likelihood of damage to the adjoining property because of the construction of the subdivision.

Mark A. Miller
Mark A. Miller

07/22/25

Date

Illinois Licensed Professional Engineer No. 062.056290
License Expires 11/30/25



Owner/Subdivider:

Talor Ray

Date

REV. #	REV. DATE:	REVISION MADE:
DATE:	07/09/25	SCALE: AS SHOWN
FIELD BOOK:		DRAWN BY: MAM
CHECKED BY: KAS		
SUBSIDIARY DRAINAGE PLAT		
RAY'S MINOR SUBDIVISION PART OF SEC. 33, T.19 N., R. 14 E., 2nd P.M. HOMER, ILLINOIS		
PRECISION ENGINEERING GROUP, INC. P.O. BOX 784 CHAMPAIGN, IL 61824-0784 PHONE: 217.202.8049 CIVIL ENGINEERING - LAND SURVEYING ILLINOIS DESIGN FIRM REGISTRATION NO. 184007585		
FILE # 54325001		
SHEET 1 OF 1		

**ATTACHMENT D. PRELIMINARY ASSESSMENT OF COMPLIANCE
WITH MINIMUM SUBDIVISION STANDARDS**

Case 207-25 Ray's Minor Subdivision

July 28, 2025

Standard	Preliminary Assessment ¹
SUITABILITY STANDARDS (Section 6.1.5 a.)	
1) No part of a minimum required LOT AREA ² shall be located on the following soils: <ul style="list-style-type: none"> • 3473A Rossburg silt loam soil (formerly Ross silt loam), • 3302A Ambraw silty clay loam soil, • 330A Peotone silty clay loam soil, or • 3107A Sawmill silty clay loam soil (formerly Colo silty clay loam). 	APPEARS TO CONFORM. The <i>Champaign County Soil Survey</i> indicates three soil types on the 3.4-acre subject property: <ul style="list-style-type: none"> • 618E2 Senachwine silt • 322C2 Russell silt loam • 291B Xenia silt loam The proposed lot is not located on the restricted soil types.
2) No part of a minimum required LOT AREA ² shall contain an EASEMENT for an interstate pipeline.	APPEARS TO CONFORM. No pipeline is included in the area proposed for subdivision.
3) No part of a minimum required LOT AREA ² shall be within a runway primary surface or runway clear zone.	APPEARS TO CONFORM. No runway is known to be in the vicinity of the subject property.
4) Prior to the commencement of any change in elevation of the land, no part of a minimum required LOT AREA ² shall be located more than one foot below the BASE FLOOD ELEVATION (BFE).	APPEARS TO CONFORM. A small part of the proposed lot is located within the Special Flood Hazard Area, per FEMA FIRM Panel 17019C0500D, with an effective date of October 2, 2013. There is more than the minimum lot area of 1 acre above the BASE FLOOD ELEVATION (BFE).
5) When a connected public sanitary sewer is not available, the septic suitability of the soils occupied by each proposed LOT must be the most suitable soils on the larger tract from which the SUBDIVISION is proposed.	APPEARS TO CONFORM. The plat and a Soil Evaluation Report was reviewed by the Champaign County Public Health Department, who determined that the property appears suitable for a private septic system.
6) The amount of farmland with a Land Evaluation score of 91 or greater that is occupied by each LOT must be minimized as much as possible.	APPEARS TO CONFORM. The average LE score of the entire proposed lot is 69. The property does not contain soils considered to be Best Prime Farmland.
7) A minimum required LOT AREA ² for any LOT must have positive surface drainage with no significant identifiable area of likely stormwater ponding and provided that any portion of any LOT that is likely to experience ponding of stormwater is noted on the FINAL PLAT.	APPEARS TO CONFORM. This subdivision is for one proposed residential lot. Minimum topographic information has been provided and appears to indicate conformance.
8) Possible driveway locations on each LOT must comply with the Minimum Stopping Sight Distance standards based on lawful speed limits at that location.	APPEARS TO CONFORM. This subdivision is for one proposed residential lot that has three existing driveways. Speeds are lower than usual because they are at the ends of a curve in the road.
AGRICULTURAL COMPATIBILITY STANDARDS (Section 6.1.5 b.)	

**ATTACHMENT D. PRELIMINARY ASSESSMENT OF COMPLIANCE
WITH MINIMUM SUBDIVISION STANDARDS**

Case 207-25 Ray's Minor Subdivision

July 28, 2025

Standard	Preliminary Assessment ¹
1) Possible driveway locations on each LOT must be limited such that driveway entrances to existing public STREETS are centralized as much as possible consistent with good engineering practice.	This subdivision is for one proposed residential lot for an existing farmstead that has three existing driveways. Speeds are lower than usual because they are at the ends of a curve in the road.
2) The location of a SUBDIVISION on the larger tract from which the SUBDIVISION is proposed must maximize the separation of the proposed SUBDIVISION from: i. adjacent farmland that is under different OWNERSHIP at the time of SUBDIVISION; and ii. adjacent public parks, natural areas, or nature preserves	APPEARS TO CONFORM. The proposed lot is primarily surrounded by residential lots, with farmland on the south side of 1200N. There is a wooded area and a ditch that separate the proposed lot from Champaign County Forrest Preserve property to the northeast.
3) The SUBDIVISION LOT arrangement must minimize the perimeter of the SUBDIVISION that borders adjacent agriculture and must be located next to adjacent residential LOTS whenever possible.	APPEARS TO CONFORM. This subdivision is for one proposed residential lot that sits between two residential lots, the only area which borders agriculture is across CR 1200N
Notes 1. This preliminary assessment is subject to review by the Environment and Land Use Committee. A waiver is required for any Minimum Subdivision Standard to which the Committee determines that the Plat does not conform. 2. The minimum required lot area is one acre (43,560 square feet).	

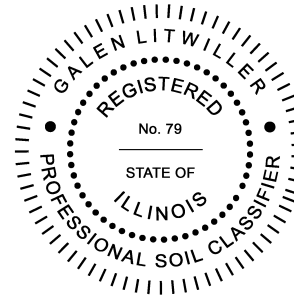
Soil Evaluation Report

In accordance with 77 Administrative Code, Chapter 1, Subchapter r, Section 90
Report No. 191-Cha071525

Date: July 15, 2025

Report prepared for: Mike James, Ph 217 202-6044
Installer: Kevin Dodd, Ph 217 260-1938

Prepared by Galen Litwiller 217 898-3946
Certified Professional IL Soil Classifier, Cert # 79



Location: 2706 CR 1200 N Homer, IL
Champaign County, IL
Parcel ID: **26-24-33-353-010**

Soil Summary

I visited the site on July 15, 2025. The soils were examined to evaluate soil characteristics such as color, texture, structure, and firmness or friability that are used to determine the potential for siting a subsurface septic disposal system. Attached are detailed descriptions of soil cores taken at 3 locations (see sketch).

The estimated depth to the seasonal high water table ranges from 21 to 24 inches.

The depth to a limiting layer ranges from 48 to 56 inches.

Note: No free water was observed within 60 inches of the surface on this date.

No significant compaction was observed on this date. There has been no construction activity yet.

Soil Evaluation Report

In accordance with 77 Administrative Code, Chapter 1, Subchapter r, Section 90

Report No. 191-Cha071525

Date: July 15, 2025

Description of soil boring at Site No. 1

Depth	Hori- zon	Parent Material	Consis- -tence	Soil Texture	Soil Structure	Matrix color	Coatings/ concretion	Depletions	Loading Rate G/D/FT	Residential Absorption Size Ft2/ bdr
0-7	A	Loess	Friable	Silt loam	Weak med granular	10YR4/3	-	-	0.69	290
7-12	E	Loess	Friable	Silt loam	Weak med platy	10YR6/4	-	-	0.69	290
12-22	Bt1	Loess	Friable	Silty clay loam <35% clay	Moderate med blocky	10YR5/4	10YR4/4	-	0.62	325
22-34	Bt2	Loess	Friable	Silty clay loam <35% clay	Moderate med blocky	10YR5/4	10YR4/2	10YR5/2	0.62	325
34-43	2Bt3	Glacial till	Firm	Loam	Moderate med blocky	2.5Y5/4	2.5Y5/1 10YR5/6	2.5Y5/2	0.52	385
43-48	2BC	Glacial till	Firm	Loam	Weak med blocky	2.5Y5/4	2.5Y5/1 10YR5/6	2.5Y5/2	0.40	500
48-60	2Cd	Glacial till	Firm	Loam	Massive	2.5Y5/4	10YR5/6	2.5Y5/1	<0.20	Not recommended

Estimated depth to Seasonal High Water Table: 22"

Physiography: Till plain/Summit

Parent Material: Loess over Glacial till

The depth to very slow permeability is 48"

Slope: 1-2% West

Soil Series: Xenia silt loam

Drainage Class: Moderately Well Drained

Note: Roots observed to a depth of 48"

Soil Evaluation Report

In accordance with 77 Administrative Code, Chapter 1, Subchapter r, Section 90

Report No. 191-Cha071525

Date: July 15, 2025

Description of soil boring at Site No. 2

Depth	Hori- zon	Parent Material	Consis- -tence	Soil Texture	Soil Structure	Matrix color	Coatings/ concretion	Depletions	Loading Rate G/D/FT	Residential Absorption Size Ft2/ bdr
0-6	A	Loess	Friable	Silt loam	Weak med granular	10YR4/3	-	-	0.69	290
6-11	E	Loess	Friable	Silt loam	Weak med platy	10YR6/4	-	-	0.69	290
11-21	Bt1	Loess	Friable	Silty clay loam <35% clay	Moderate med blocky	10YR5/4	10YR4/4	-	0.62	325
21-35	Bt2	Loess	Friable	Silty clay loam <35% clay	Moderate med blocky	10YR5/4	10YR4/2	10YR5/2	0.62	325
35-51	2Bt3	Glacial till	Firm	Loam	Moderate med blocky	2.5Y5/4	2.5Y5/1 10YR5/6	2.5Y5/2	0.52	385
51-56	2BC	Glacial till	Firm	Loam	Weak med blocky	2.5Y5/4	2.5Y5/1 10YR5/6	2.5Y5/2	0.40	500
56-60	2Cd	Glacial till	Firm	Loam	Massive	2.5Y5/4	10YR5/6	2.5Y5/1	<0.20	Not recommended

Estimated depth to Seasonal High Water Table: 21"

Physiography: Till plain/Summit

Parent Material: Loess over Glacial till

The depth to very slow permeability is 56"

Slope: 1-2% West

Soil Series: Xenia silt loam

Drainage Class: Moderately Well Drained

Note: Roots observed to a depth of 56"

Soil Evaluation Report

In accordance with 77 Administrative Code, Chapter 1, Subchapter r, Section 90

Report No. 191-Cha071525

Date: July 15, 2025

Description of soil boring at Site No. 3

Depth	Hori- zon	Parent Material	Consis- -tence	Soil Texture	Soil Structure	Matrix color	Coatings/ concretion	Depletions	Loading Rate G/D/FT	Residential Absorption Size Ft2/ bdr
0-7	A	Loess	Friable	Silt loam	Weak med granular	10YR4/3	-	-	0.69	290
7-11	E	Loess	Friable	Silt loam	Weak med platy	10YR6/4	-	-	0.69	290
11-24	Bt1	Loess	Friable	Silty clay loam <35% clay	Moderate med blocky	10YR5/4	10YR4/4	-	0.62	325
24-34	Bt2	Loess	Friable	Silty clay loam <35% clay	Moderate med blocky	10YR5/4	10YR4/2	10YR5/2	0.62	325
34-48	2Bt3	Glacial till	Firm	Loam	Moderate med blocky	2.5Y5/4	2.5Y5/1 10YR5/6	2.5Y5/2	0.52	385
48-53	2BC	Glacial till	Firm	Loam	Weak med blocky	2.5Y5/4	2.5Y5/1 10YR5/6	2.5Y5/2	0.40	500
53-60	2Cd	Glacial till	Firm	Loam	Massive	2.5Y5/4	10YR5/6	2.5Y5/1	<0.20	Not recommended

Estimated depth to Seasonal High Water Table: 24"

Physiography: Till plain/Summit

Parent Material: Loess over Glacial till

The depth to very slow permeability is 53"

Slope: 1-2% West

Soil Series: Xenia silt loam

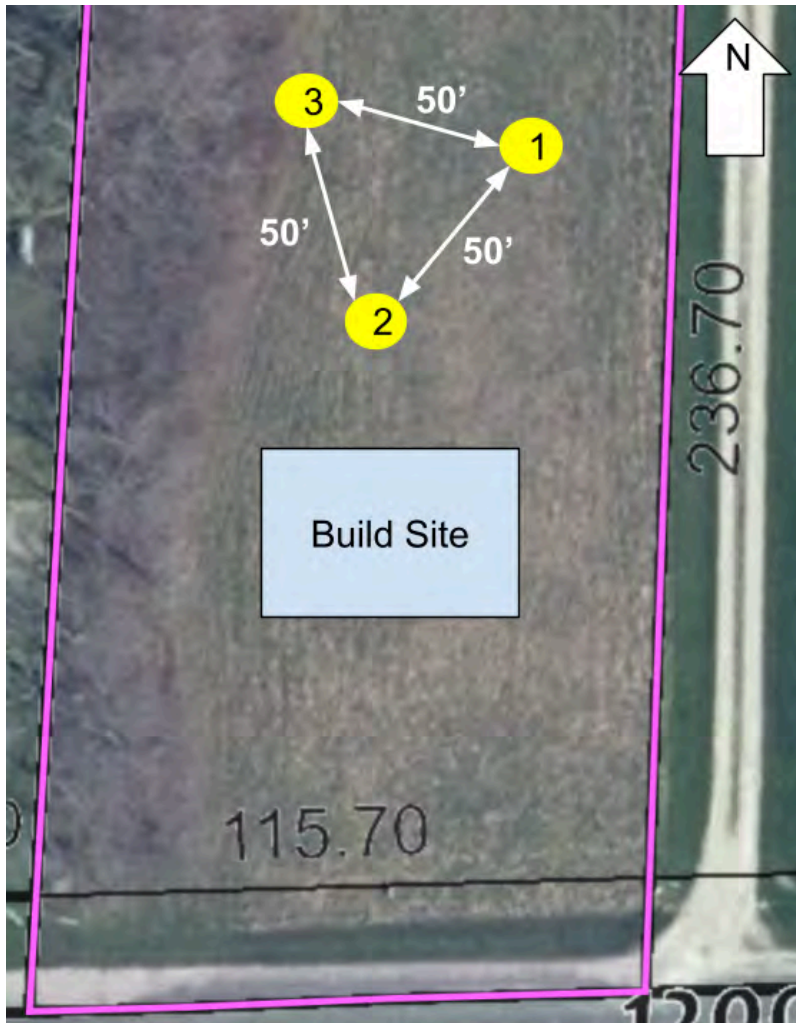
Drainage Class: Moderately Well Drained

Note: Roots observed to a depth of 53"

Soil Evaluation Report

In accordance with 77 Administrative Code, Chapter 1, Subchapter r, Section 90
Report No. 191-Cha071525

Date: July 15, 2025



2706 County Road 1200 N, Homer, IL

Soil Evaluation Report

In accordance with 77 Administrative Code, Chapter 1, Subchapter r, Section 90

Report No. 191-Cha071525

Date: July 15, 2025

Disclaimers:

- 1) My determinations are based on the soil conditions found at the time the borings were pulled on July 15, 2025.
- 2) The seasonal high water table is the peak water table level and it is only shallow for a short time. Usually it occurs in the wettest time of spring, after lots of rain and before vegetation begins to extract water and lower the water table once again. The method used to determine the seasonal water table is by direct observation of the water table or as indicated by common <2 chroma gray mottles (using the Munsell Soil Color Charts). Common mottling is referred to as 2 to 20% of an observed surface. Mottles are irregular spots of different colors that are formed by the oxidation-reduction cycle of Fe and Mn following the up and down movement of the water table. This process is one of the most important types of morphological indicators of soil wetness.
- 3) **Caution:** Many university studies have shown that discharging water softener salts into a septic system could cause premature failure of its leach field. Also, running the softener too often could cause hydraulic overload at the leach field.

Charles W. Campo

From: John Hall
Sent: Monday, July 28, 2025 2:21 PM
To: Charles W. Campo
Subject: FW: 26-24-33-353-010
Attachments: 25-191-Cha715-James - Google Docs.pdf

From: Jeff Blackford <jblackford@c-uphd.org>
Sent: Thursday, July 24, 2025 7:09 AM
To: John Hall <jhall@champaigncountyil.gov>
Subject: 26-24-33-353-010

CAUTION: External email, be careful when opening.

John,

The soil report appears to show that this site is suitable for a subsurface seepage system.

Jeff Blackford, LEHP
Program Coordinator
Environmental Health Division

Champaign-Urbana Public Health District
201 W. Kenyon Road
Champaign, IL 61820

Phone: (217) 531-2919
Fax: (217) 373-7905
jblackford@c-uphd.org
www.c-uphd.org



This message and any attachments are for the designated recipient only and may contain privileged, proprietary, or otherwise private or confidential information. If you have received it in error please notify the sender immediately and delete the original and any copies. Any other use of the email or attachments by you are strictly prohibited.

From: Galen Litwiller <galen.litwiller@gmail.com>
Sent: Wednesday, July 23, 2025 3:03 PM
To: Jeff Blackford <jblackford@c-uphd.org>
Subject: [EXTERNAL EMAIL]soil evaluation attached

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Jeff,
The soil evaluation attached here was requested for Mike James by Kevin Dodd. I talked to an associate of Kevin's today (Mike Berber) who asked me to send the soil report to you.

Galen Litwiller

26-24-33-353-010 1:100

RECEIVED

APR 17 2025

CHAMPAIGN CO. P & Z DEPARTMENT

Old Homer
Park

Homer
Park Sub



This map application was prepared with geographic information system (GIS) data created by the Champaign County GIS Consortium (CCGISC), or other CCGISC member agency. These entities do not warrant or guarantee the accuracy or suitability of GIS data for any purpose. The GIS data within this application is intended to be used as a general index to spatial information and not intended for detailed, site-specific analysis or resolution of legal matters. Users assume all risk arising from the use or misuse of this application and information contained herein. The use of this application constitutes acknowledgement of this disclaimer.



ATTACHMENT H. **DRAFT FINDINGS FOR WAIVERS OF FINAL PLAT REQUIREMENTS**

Case 207-25 Ray's Minor Subdivision

July 28, 2025

DRAFT FINDINGS FOR WAIVERS OF FINAL PLAT REQUIREMENTS

As required by Article Eighteen of the Champaign County Subdivision Regulations and based on the testimony and exhibits received at the meeting held on **August 7, 2025**, the Environment and Land Use Committee of the Champaign County Board finds that:

1. The requested subdivision waivers of final plat requirements **WILL NOT** be detrimental to the public health, safety, or welfare or injurious to other property located in the area because:
 - A. **P&Z Staff received the Soil Evaluation Report by Galen Litwiller, Certified Professional Soil Classifier, on July 24, 2025.**
 - B. **The proposed subdivision is for a proposed residential lot with an existing farmstead. The Plat and Soil Evaluation Report were sent to Champaign County Public Health Department for review. A review of the property and existing septic location was received on July 24, 2025, from Jeff Blackford, Environmental Health Programs Coordinator at Champaign County Public Health Department.**
2. Special conditions and circumstances **DO** exist which are unique to the property involved and are not applicable generally to other property, and granting the subdivision waivers of final plat requirements will not confer any special privilege to the subdivider because:
 - A. **This waiver is not prohibited by the Subdivision Regulations and could be requested for any subdivision with similar conditions.**
3. Particular hardships **WILL** result to the subdivider by carrying out the strict letter of the subdivision requirements sought to be waived because:
 - A. **Soil borings and percolation data are not shown on the Final Plat. The soil report identifies the soil characteristics for private septic disposal systems, but there is no certification on the Final Plat.**
 - B. **Requiring soil borings, percolation test data and the statement regarding suitability being recorded on the Final Plat would increase the subdivider's costs and slow down the approval process with no gain to public health or safety.**
4. The special conditions, circumstances, hardships, or practical difficulties **DO NOT** result from actions of the subdivider because:
 - A. **The Final Plat was prepared by an Illinois Professional Land Surveyor using a format that conforms to the current Illinois minimum standards for a plat, and inclusion of the soil data and septic certification is not a state-mandated minimum requirement on the Final Plat. Further, the petitioner provided the necessary soil report data and approval from Public Health as separate documents.**

Champaign County
Department of



Brookens Administrative
Center
1776 E. Washington Street
Urbana, Illinois 61802

(217) 384-3708
zoningdept@co.champaign.il.us
www.co.champaign.il.us/zoning

To: **Champaign County Environment & Land Use Committee**

From: **John Hall, Zoning Administrator**
Charlie Campo, Senior Planner

Date: **August 7, 2025**

RE: **Recommendation for rezoning case 167-AM-25**

Request: **Amend the Zoning Map to change the zoning district designation from the AG-1 Agriculture Zoning District to the B-1 Rural Trade Center Zoning District in order to expand operations of a Farm Chemicals and Fertilizer Sales business including storage and mixing of blended fertilizer.**

Petitioner: **Ehler Brothers Company represented by Dustin Ehler**

The Zoning Board of Appeals (ZBA) voted 4-0 with two members absent to “RECOMMEND ENACTMENT” of this map amendment at its August 17, 2025, meeting. The ZBA found that the rezoning achieved all relevant Goals, Objectives, and Policies from the Champaign County Land Resource Management Plan.

The subject property is located within one and one-half mile of the Village of Royal, a municipality with zoning. Zoned municipalities have protest rights in Map Amendment cases. Notice of the public hearing was sent to the Village and no comments have been received. The subject property is located in East Bend Township, which does not have a Planning Commission.

Drainage District #10 of Ogden submitted a letter approving the plan to connect stormwater drainage tiles to the nearby Drainage District ditch.

The Champaign County Engineer expressed no objection to the proposed site plan

Two special conditions were agreed to by the petitioner and approved by Zoning Board of Appeals.

BACKGROUND

The current business location was rezoned from AG-1 to B-1 in 1977, an additional 1.4 acres was added and rezoned from AG-1 to B-1 in 2016. The petitioner requests to rezone newly purchased property east of the existing Ehler Bros. facility from its current AG-1 Agriculture zoning designation to the B-1 Rural Trade Center zoning designation. The petitioner seeks to expand its existing fertilizer blending and sales business and construct a new storage building and paved area. The proposed expansion of the facility will trigger the need for a Storm Water Drainage Plan but the petitioners were granted a variance from the Zoning Ordinance requirement to submit a stormwater drainage plan in Case 171-V-25, approved by the Zoning Board of Appeals on July 17, 2025.

Staff analysis indicates that the proposed Zoning Map amendment and potential use appear to be generally compatible with surrounding land uses and the Champaign County Land Resource Management Plan Goals, Objectives, and Policies adopted by the County Board on April 22, 2010.

Staff recommended affirmative findings for all decision points for the LRMP Goals, Objectives, and Policies, LaSalle and Sinclair Factors, and Purpose of the Zoning Ordinance.

continued

The Land Resource Management Plan Goal 8: Natural Resources, has additional considerations because the existing Ehler Bros site abuts a tributary of the Spoon River, which is part of the Upper Salt Fork Watershed. The Spoon River Illinois Natural Areas Inventory (INAI) site is 29 acres under INAI Category VI, which indicates “unusual concentrations of flora or fauna and high quality streams.” The state does not protect this site.

PROPOSED SPECIAL CONDITIONS

- A. **A Zoning Use Permit and applicable fees shall be required any future construction on the property.**

The special condition stated above is required to ensure the following:

Conformance with the Champaign County Zoning Ordinance.

- B. **The owners of the subject property hereby recognize and provide for the right of agricultural activities to continue on adjacent land consistent with the Right to Farm Resolution 3425.**

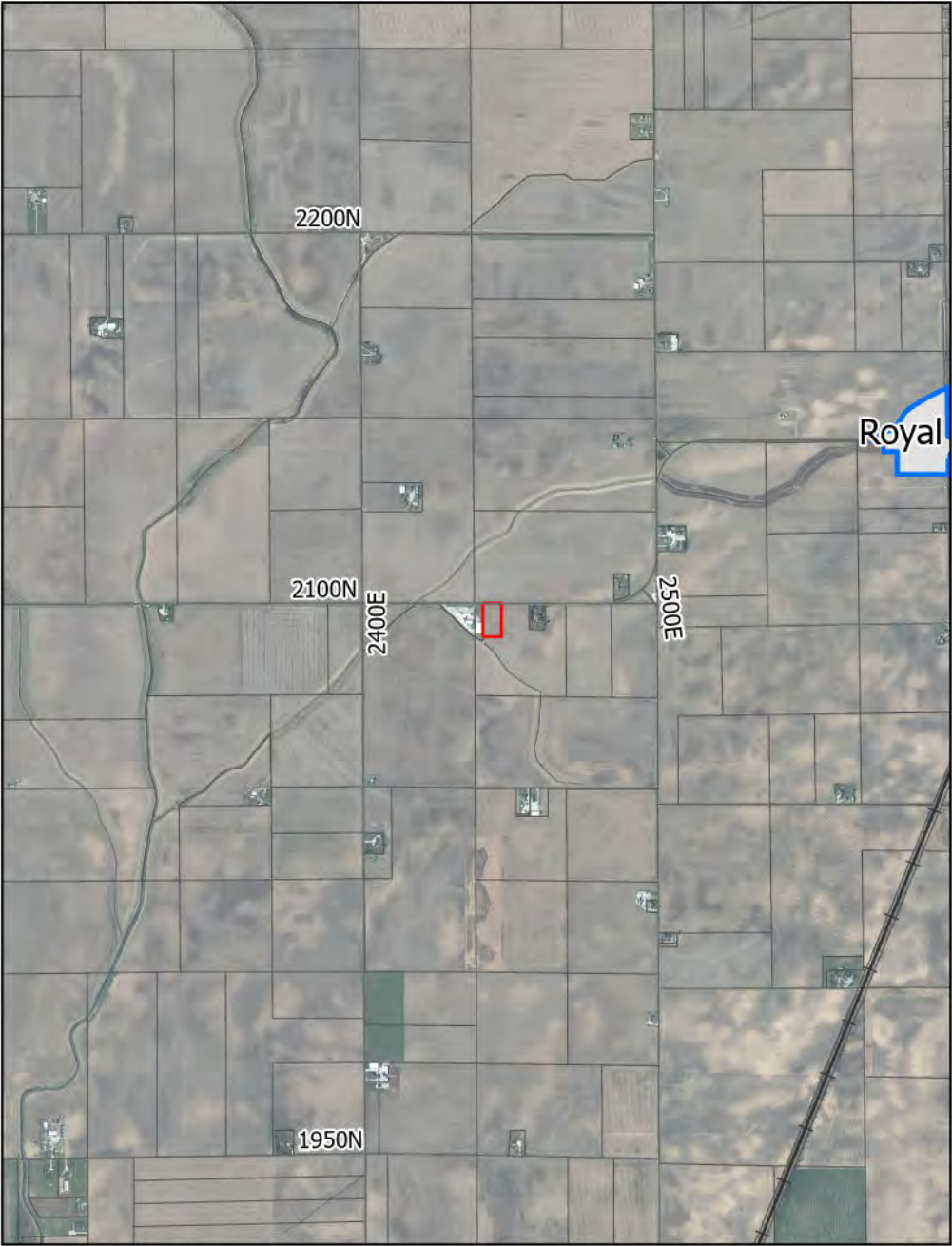
The special condition stated above is required to ensure the following:

Conformance with Policy 4.2.3 of the Land Resource Management Plan.

ATTACHMENTS

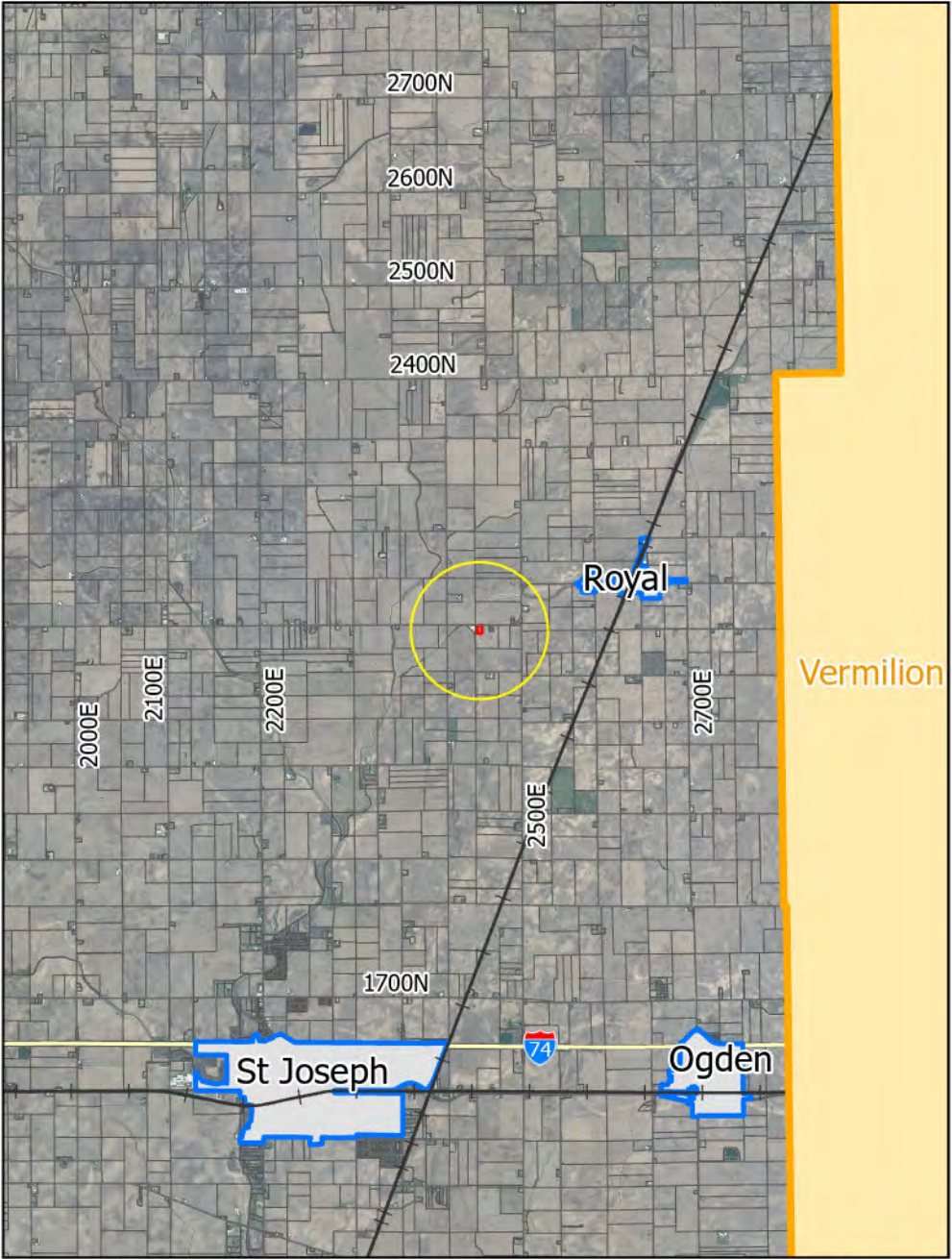
- A Case Maps (Location, Land Use, Zoning)
- B Aerial Photo 2023
- C Site Plans Received March 28, 2025, June 20, 2025, and June 26, 2025
- D Building Plans Received March 28, 2025
- E Copy of Right to Farm Resolution 3425
- F Draft Finding of Fact, and Final Determination for Case 167-AM-25 as approved by the ZBA on July 17, 2025

Subject Property

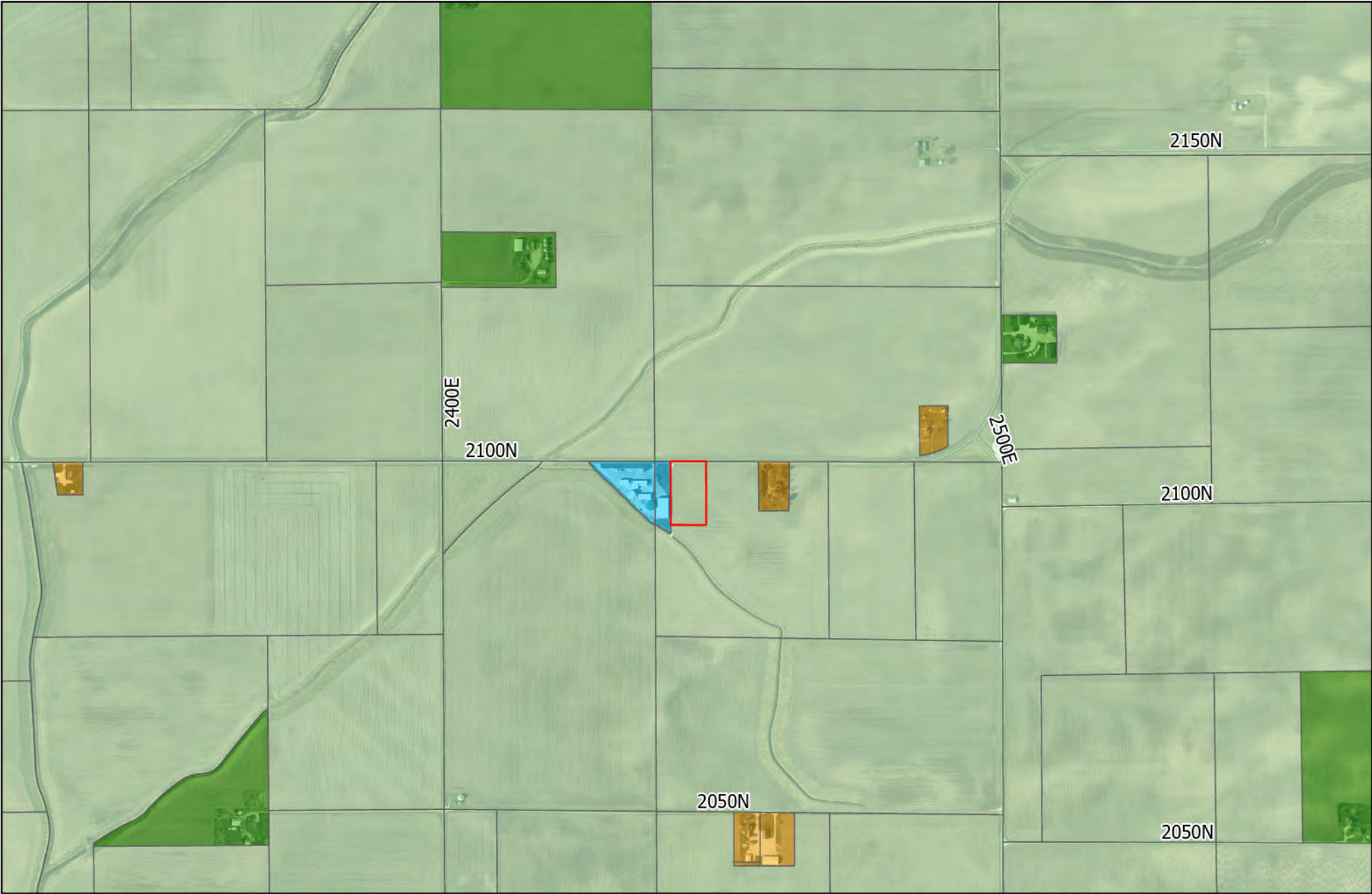


- Subject Parcel
- Municipal Boundary

Property Location in Champaign County



- 0 2 4 Miles
- PLANNING & ZONING



Subject Parcel

Agricultural

Commercial

Residential

Agricultural/Residential

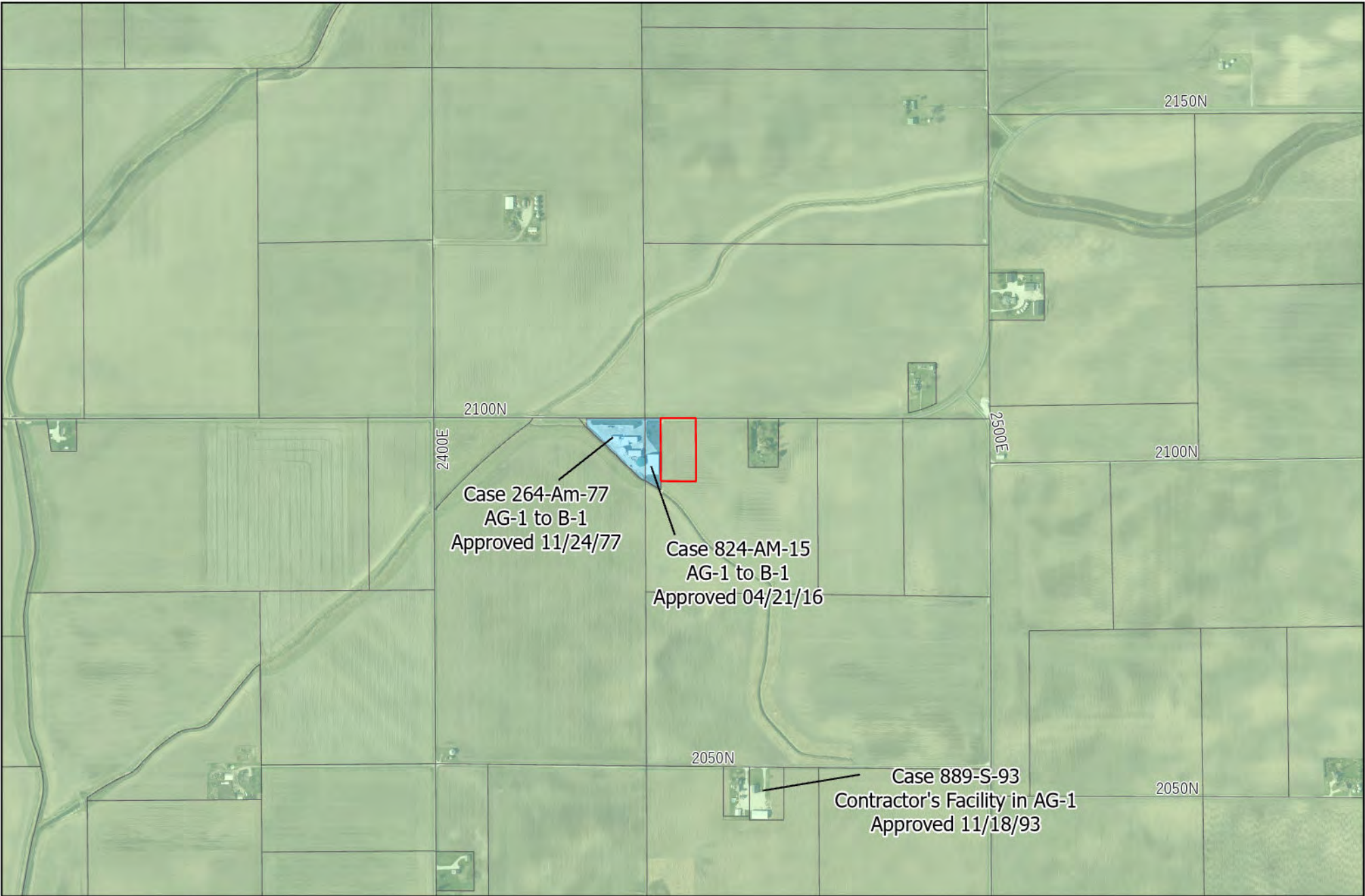
01,0002,000

Feet

N

PLANNING & ZONING

Zoning Map
Case 167-AM-25 / 171-V-25
July 17, 2025



Subject Parcel

B-1 Rural Trade Center

AG-1 Agriculture

01,0002,000

Feet

N

PLANNING & ZONING



 Subject Parcel



Approx 101' from
East side of existing
building to the
West side of the
proposed building

Actual proposed
building will be shifted
South east to avoid
existing flood plain
please see aerial
flood plain view

P.L.E



RECEIVED

MAR 28 2025

CHAMPAIGN CO. P & Z DEPARTMENT

NO.	REVISION	DATE

Sales Layout Drawing_Ehler Bros 100x272 Fertilizer Shed_09.14.2024.

SITE PLAN

Drawn by AP

Check

Scale NTS

Sheet No. SHEET 2

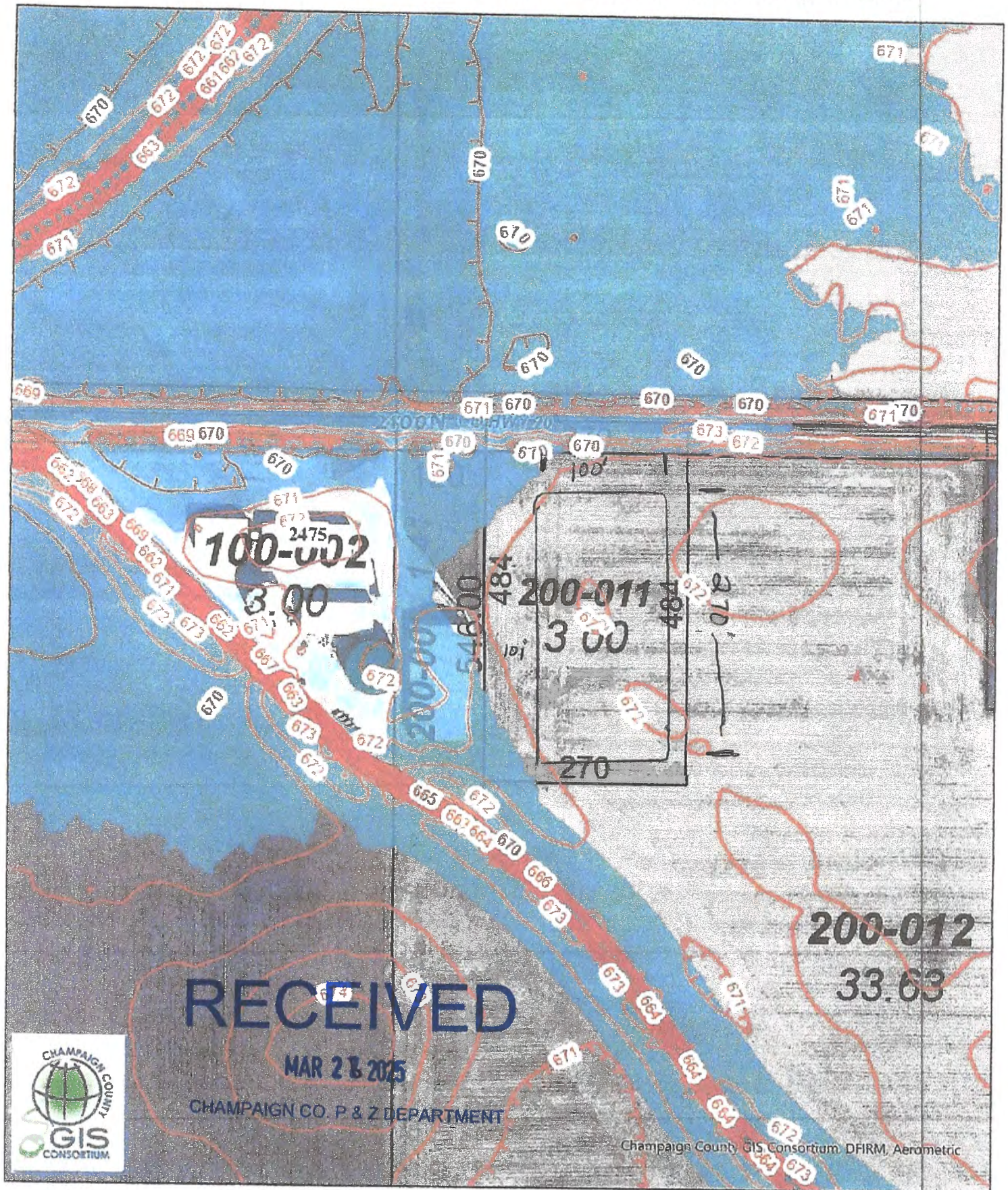
Project No.

Date 09.14.2024

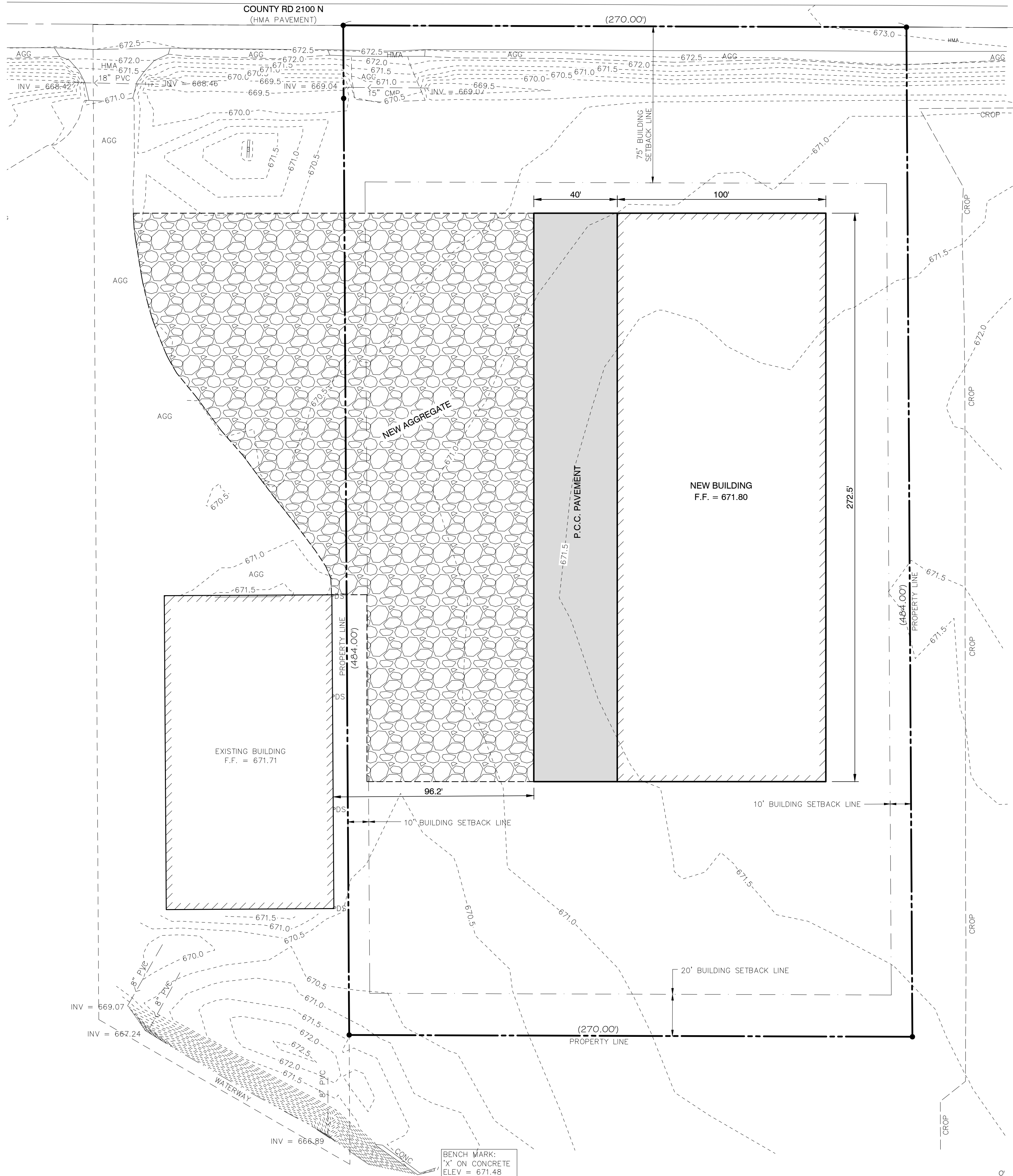
Revision

CONTRACTORS LLC
GREENFIELD
BUILDING YOUR FUTURE

171719200011; 2023 w/flood&contours; 1:100

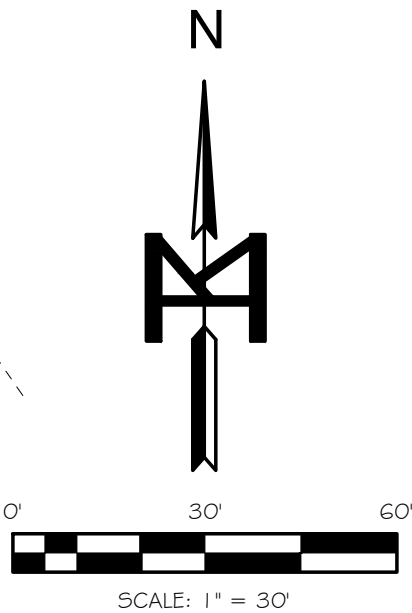


This map application was prepared with geographic information system (GIS) data created by the Champaign County GIS Consortium (CCGIS), or other CCGIS member agency. These entities do not warrant or guarantee the accuracy or reliability of GIS data for any purpose. The GIS data within this application is intended to be used as a general index to spatial information and not intended for detailed, design, or construction or resolution of legal matters. Users assume all risk arising from the use or misuse of this application and information contained herein. The use of this application constitutes acknowledgment of this disclaimer.



LEGEND	
	DEED LINE
	RIGHT OF WAY
	ADJACENT PROPERTY LINE
	BUILDING SETBACK LINE
	EXIST. STORM SEWER
	EXIST. FENCE
	EXIST. CONTOUR LINE
	EXIST. SURVEY MONUMENT
	RECORD DISTANCE
	EXIST. SIGN
	DOWNSPOUT
	EXISTING
	CONCRETE
	AGGREGATE
	HOT MIX ASPHALT
	SIDEWALK

SITE LAYOUT EXHIBIT
SCALE: 1" = 30'



PRELIMINARY ONLY
NOT FOR CONSTRUCTION



MOHR & KERR ENGINEERING & LAND SURVEYING, P.C.
5901 N. Prospect Road, Suite 6B
Peoria, Illinois 61614
www.mohrandkerr.com
Office: (309) 692-8500
Fax: (309) 692-8501
Professional Design Firm #184.005091

REV.	DATE	NATURE OF REVISION	CHECKED
FILE NAME: SITE LAYOUT EHLER BROS 25-226.dwg Jun 12, 2025			

SURVEYED	WLC
DRAWN	BRD
CHECKED	JMM
SCALE	1" = 30'
DATE	6-12-2025

CLIENT:

GREENFIELD CONTRACTORS
EHLER BROTHERS

TITLE:

SITE LAYOUT EXHIBIT

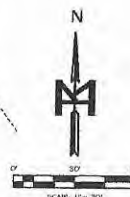
PROJECT NO.	25-226
SHEET	1 OF 1
DRAWING NO.	1

2 24" catch basins will be installed between the existing building and the proposed building. The water will be directed straight to the drainage ditch by way of a newly installed 10" tile.



LEGEND	
---	DEED LINE
---	RIGHT OF WAY
---	ADJACENT PROPERTY LINE
---	BUILDING SETBACK LINE
---	EXIST. STORM SEWER
X X X	EXIST. FENCE
---	EXIST. CONTOUR LINE
•	EXIST. SURVEY MONUMENT
(770.00)	RECORD DISTANCE
+	EXIST. SIGN
(C)	DOWNSPOUT
CONC	CONCRETE
AGG	AGGREGATE
HMA	HOT MIX ASPHALT
SW	SIDEWALK

1 curtain drain with an 8" tile installed on the east side of the proposed building taking the storm water directly to the drainage ditch. The curtain drain trench will be back filled with clean 3/4" rock



SITE LAYOUT EXHIBIT
SCALE: 1" = 30'

M MOHR & KERR ENGINEERING & LAND SURVEYING, P.C.
5901 N. Prospect Road, Suite 62
Pacifica, Illinois 61114
www.mohr-kerr.com
Office: (309) 692-9500
Fax: (309) 692-4501
Professional Design Firm #184,005091

REV.	DATE	BY	DATE	DESCRIPTION
1	06/10/2025	JMM		ISSUED FOR PERMIT
2	06/10/2025	JMM		REVISED
3	06/10/2025	JMM		REVISED
4	06/10/2025	JMM		REVISED
5	06/10/2025	JMM		REVISED
6	06/10/2025	JMM		REVISED
7	06/10/2025	JMM		REVISED
8	06/10/2025	JMM		REVISED
9	06/10/2025	JMM		REVISED
10	06/10/2025	JMM		REVISED

CLIENT:

GREENFIELD CONTRACTORS
EHLER BROTHERS

TITLE:

SITE LAYOUT EXHIBIT

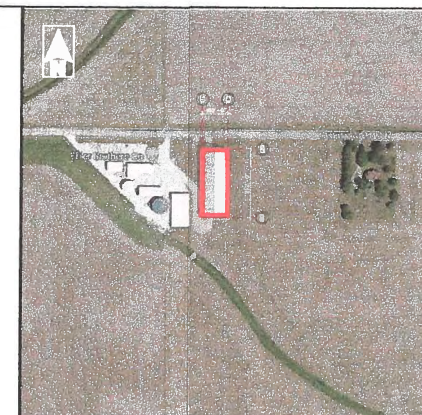
PRELIMINARY ONLY
NOT FOR CONSTRUCTION

PROJECT NO.	25-028
SHEET 1 OF 1	
DRAWINGS	1


Signed by: Aaron Elder - *Aaron Elder* 2/25/2025
F8DCF756506F43E

DocuSigned by: Lucas Young 2/28/2025
AEB4F5ABC294DD

Signed by: RCEEFrail 3/3/2025
BCEEF65F7E2A4BB



DRAWING INDEX		
SHEET NAME	SHEET No.	TITLE
TS	1 OF 16	TITLE SHEET
GEN	2 OF 16	GENERAL STRUCTURAL NOTES
RFN	3 OF 16	DETAILED REINCTIONS
FDA	4 OF 16	FOUNDATION PLAN
FRA	5 OF 16	FRAMING PLAN
E1-A	6 OF 16	ELEVATION A
E1-B	7 OF 16	ELEVATION B
E1-C	8 OF 16	ELEVATION C
E1-D	9 OF 16	ELEVATION C
EXT1	10 OF 16	EXTRUSION LAYOUT
EXT2	11 OF 16	EXTRUSION LAYOUT
EXT3	12 OF 16	EXTRUSION LAYOUT
DET1	13 OF 16	DETAILS
DET2	14 OF 16	DETAILS
PVC	15 OF 16	PVC LAYOUT
FAB	16 OF 16	FABRIC DETAILS

Calhoun Super Structures Ltd. 3000 Route 104 400 Turf, Ontario, Canada M0C 1S0 1-800-367-3366 Tel: 505-261-2666 Fax: 505-261-2666 www.calhounsuperstructures.com			
 <h1 style="margin: 0;">CALHOUN</h1>			
<h2 style="margin: 0;">TITLE SHEET</h2> <p style="margin: 0;">100 VPc SERIES 4</p> <p style="margin: 0;">408233 VPc 100X172 P6</p>			
DESIGN	NAME	DATE	SCALE
		04/01/2002	1/2"=1'-0"
CHECKED	NAME	DATE	SCALE
		04/01/2002	1/2"=1'-0"

THE INFORMATION CONTAINED IN THIS DRAWING IS THE PROPERTY OF CALHOUN SUPER STRUCTURES LTD. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM CALHOUN SUPER STRUCTURES LTD.

D DRAWN BY	NAME	DATE	SCALE
TS CHECKED BY	NAME	DATE	SCALE

MTO PROJECT # C4

ANY DAMAGE TO STRUCTURE OR COMPONENTS MUST BE REPORTED IMMEDIATELY TO CALHOUN SUPER STRUCTURES.
ANY REPAIRS OR MODIFICATIONS MUST BE APPROVED BY EOS IN WRITING.
CALHOUN SUPER STRUCTURES WILL NOT ACCEPT RESPONSIBILITY FOR ANY REPAIRS OR MODIFICATIONS THAT HAVE
NOT BEEN APPROVED BY THE EOS.



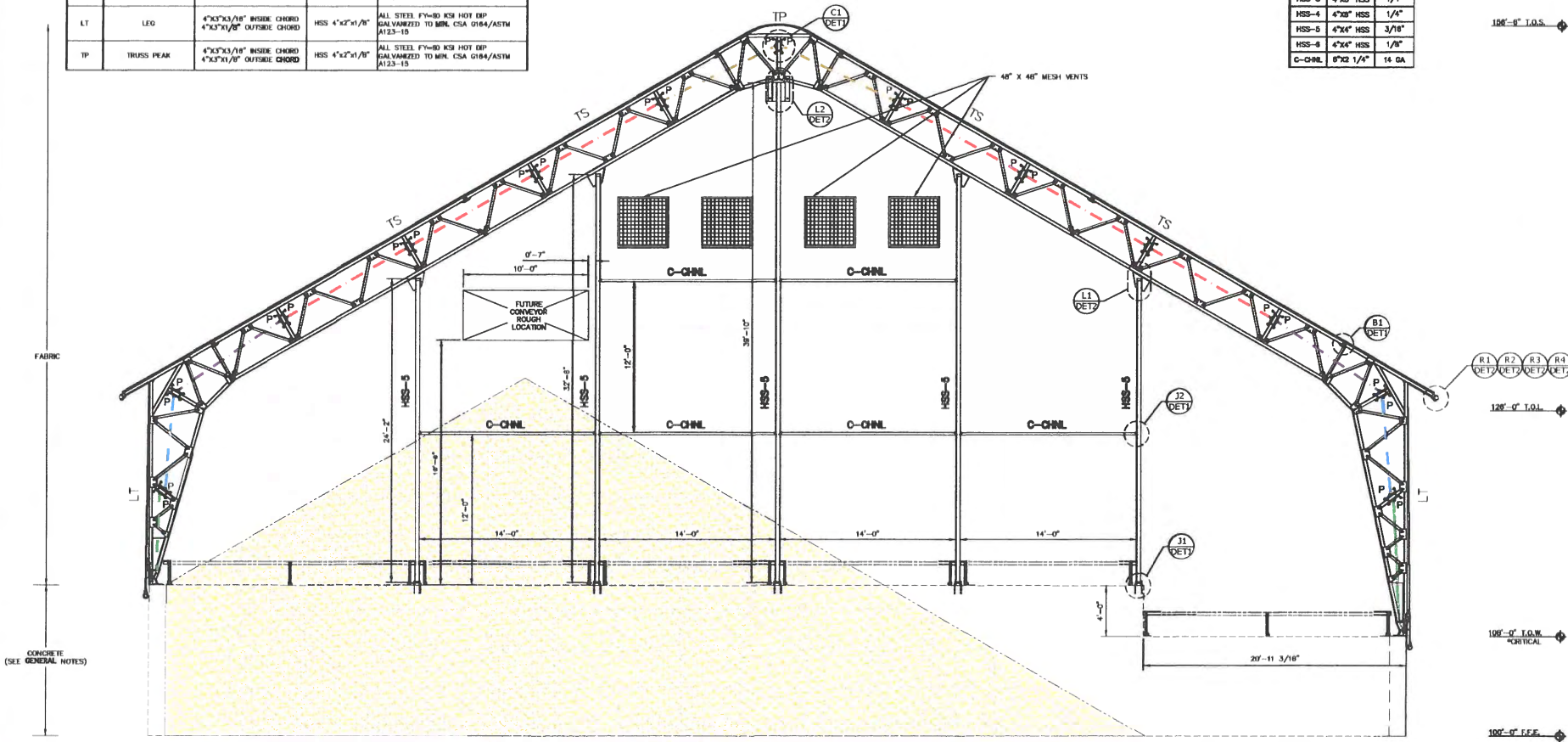


P:\V\2023\VP 488233 VP 1000724\1000724.dwg 1000724.dwg - Drawn: [Name], L:\Engineering\488233 VP 1000724.dwg
2/19/2023 2:38 PM

COMPONENT SCHEDULE				
MARK	DESCRIPTION	CHORDS	WEB	COMMENTS
TS	TRUSS STRAIGHT	4"x10"x1/8" INSIDE CHORD 4"x10"x1/8" OUTSIDE CHORD	U 2.0"x10.0"x0.120"	ALL STEEL F.Y=80 KSI HOT DIP GALVANIZED TO MIN. CSA G184/ASTM A123-15
LT	LEG	4"x10"x1/8" INSIDE CHORD 4"x10"x1/8" OUTSIDE CHORD	HSS 4"x10"x1/8"	ALL STEEL F.Y=80 KSI HOT DIP GALVANIZED TO MIN. CSA G184/ASTM A123-15
TP	TRUSS PEAK	4"x10"x1/8" INSIDE CHORD 4"x10"x1/8" OUTSIDE CHORD	HSS 4"x10"x1/8"	ALL STEEL F.Y=80 KSI HOT DIP GALVANIZED TO MIN. CSA G184/ASTM A123-15

BRACING LEGEND	
MARK	DESCRIPTION
P	PURLIN

HSS FRAMING SCHEDULE		
LEGEND	SECTION	THICKNESS
HSS-1	4"x12" HSS	1/4"
HSS-2	4"x10" HSS	1/4"
HSS-3	4"x8" HSS	1/4"
HSS-4	4"x8" HSS	1/4"
HSS-5	4"x4" HSS	3/16"
HSS-6	4"x4" HSS	1/8"
C-CHNL	6"x12" C-CHNL	14 GA



CABLE SCHEDULE (GALVANIZED CABLES)							
LEGEND	BAY	DESCRIPTION	SECTION	TURNBUCKLE (SIZE-TPI)	PART NO.	LENGTH (in)	GA/LD
16'	16'	PEAK	5/16" DIA 7X19	1/2"-13	CA516226P	226	
16'	16'	ROOF TRUSS	5/16" DIA 7X19	1/2"-13	CA516232P	232	
16'	16'	RIDGE/EAVES	5/16" DIA 7X19	1/2"-13	CA516226P	226	
16'	16'	14" LEG UPPER WALL	5/16" DIA 7X19	1/2"-13	CA516210P	210	
16'	16'	14" LEG LOWER WALL	5/16" DIA 7X19	1/2"-13	CA516206P	206	
16'	16'	18" LEG UPPER WALL	5/16" DIA 7X19	1/2"-13	CA516214P	214	
16'	16'	18" LEG LOWER WALL	5/16" DIA 7X19	1/2"-13	CA516226P	226	

CABLE TENSIONING SEQUENCE:
1. HARD TIGHT.
2. PLUS SPECIFIED PROOF TURNS, AS ABOVE, TO STRETCH CABLE.
3. LOCKEN TO SLACK.
4. HARD TIGHT.
5. PLUS SPECIFIED PRE TENSION TURNS, AS ABOVE.
6. TIGHTEN JAW NUTS ON TURNBUCKLE.

END WALL FABRIC INFORMATION	
FABRIC TYPE	FABRIC INFORMATION
4 PIECE KEDDERED END	INSTALLED IN EXTENSION AND JOINED IN 3 LOCATIONS USING PVC TUBES AND RATCHETS, BELTING FASTENED TO HSS VIA CAMBUCKLES, TENSION AS PER DETAILS.

FRAMING SCHEDULE			
LEGEND	DESCRIPTION	SECTION	GAUGE
	TYPICAL PURLIN	12" J	12
	TYPICAL TUBE	DOUBLE 12" J	12
	TENSION TUBE	5" x 2" HSS	11
	EAVE ROLL TUBE	48" TUBE	11

END 1 - GRIDLINE 1

- NOTES:
1. TRUSS SECTIONS WITH SINGLE PURLIN MOUNTING ARE TO BE INSTALLED WITH THE PURLIN MOUNTING PLATE ORIENTED ON THE DOWN SLOPE SIDE OF THE KINGPINS.
 2. PASSIVE VENTILATION IF USED SHALL BE IDENTICAL OPPOSITE ENDS AND SIDES.

CALHOUN
DRAWINGS FOR
APPROVAL

APPROVED FOR
PRODUCTION BY

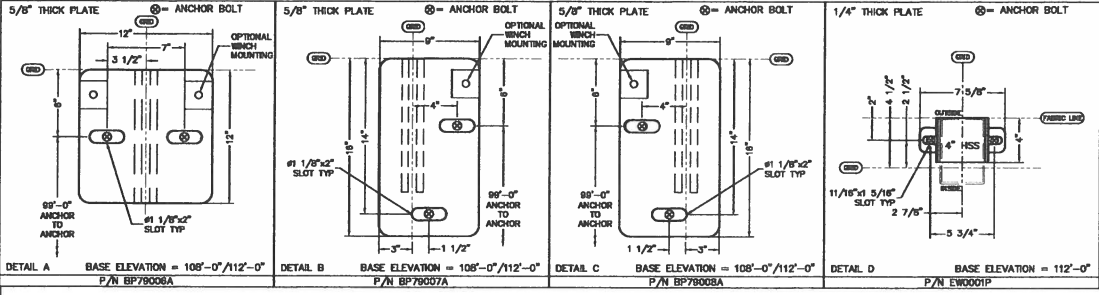
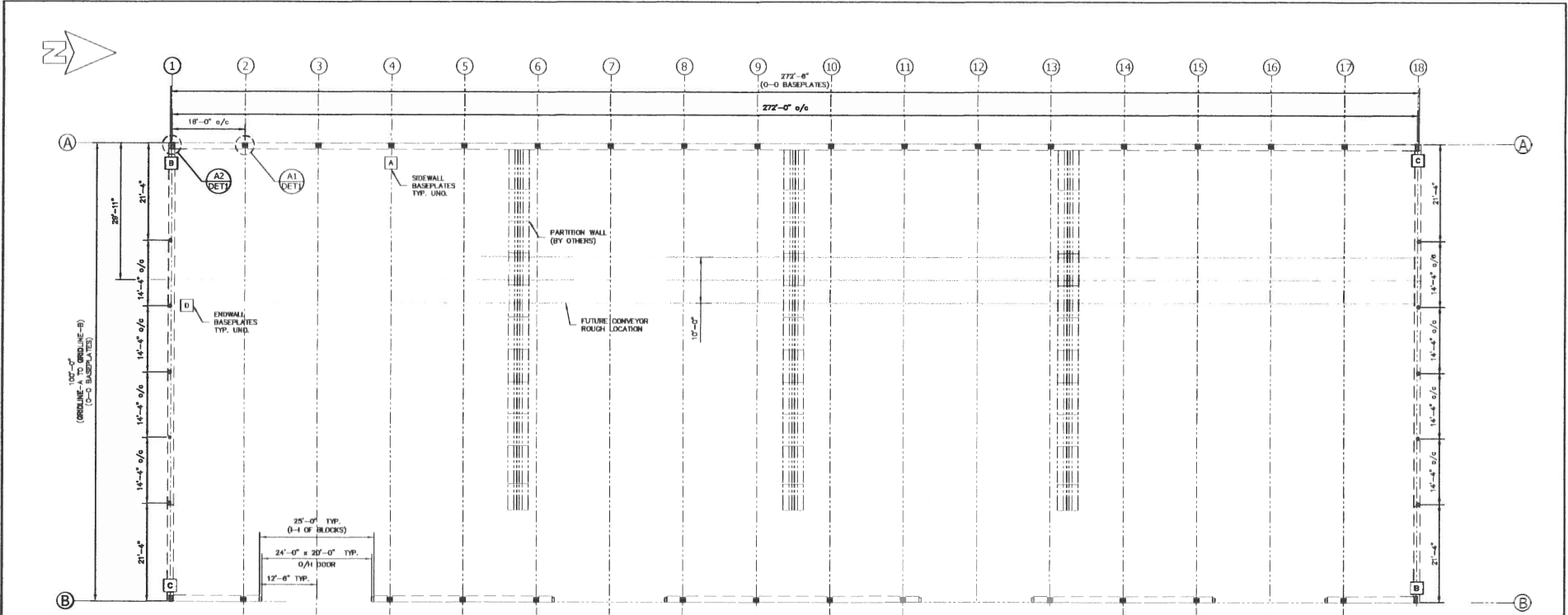
Calhoun Super Structures Ltd.
3000 Steeles Rd. East
Unit 100
Markham, Ontario
L3R 9V7
1-800-561-2666
www.calhounsuperstructures.com

NAME: [Name]
DATE: 02/02/2023
DRAWN: [Name]
CHECKED: [Name]
SCALE: 1/4" = 1'-0"

CALHOUN
ELEVATION A
100' VPo SERIES 4
488233 VPo 100X272 P0

PROJECT NAME: [Name]
SHEET NO: 1
SHEET TOTAL: 1 OF 10

P:\VP\2023 VP\408233 VP 100X272 (14x10) DATE 14-SEP-2023 PC = Draw from Jobname: 11\Engineering\408233 VP 100X272 P.dwg
2/11/2023 2:25 PM



NOTE: THE FOUNDATION DESIGNER MAY CHOOSE ANCHORS OF VARIOUS DIAMETERS WHERE APPROPRIATE.
IF THE ANCHOR IS MORE THAN 1/8" SMALLER THAN THE BASEPLATE HOLE, A PLATE WASHER SHALL BE USED WHICH HAS:
A) MINIMUM LENGTH AND WIDTH 1/3 EQUAL TO THE BASEPLATE HOLE DIAMETER PLUS 1 INCH, AND
B) MINIMUM THICKNESS OF 1/3 OF THE ANCHOR DIAMETER, AND
C) A STANDARD HOLE 1/16 INCH LARGER THAN THE ANCHOR DIAMETER.
THE FOUNDATION DESIGNER MAY SPECIFY PLATE WASHERS IN EXCESS OF THE ABOVE AT THEIR DISCRETION.

CALHOUN
DRAWINGS FOR
APPROVAL

APPROVED FOR
PRODUCTION BY

Calhoun Super Structures Ltd.
2000 Bruce Rd. #101
Tara, Ontario, Canada
M2H 3K3
1-800-387-3884
www.calhounss.com

NO.	NAME	DATE
DESIGNED	A.D.	12/15/2022
CHECKED	A.D.	12/15/2022

THE APPROVALS CONTAINED IN THIS DOCUMENT ARE THE SOLE PROPERTY OF CALHOUN SUPER STRUCTURES LTD. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM CALHOUN SUPER STRUCTURES LTD.

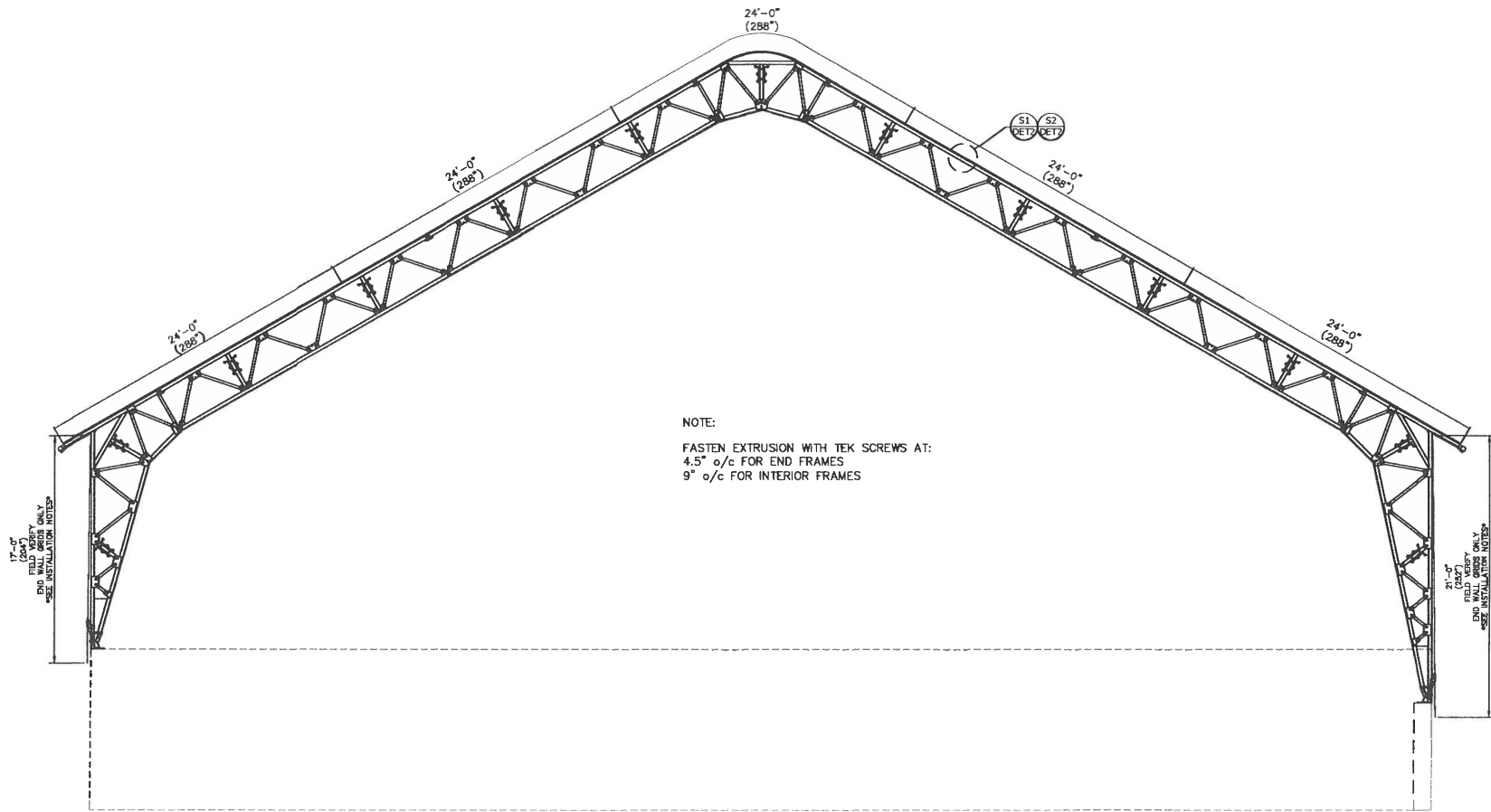
CALHOUN
FOUNDATION PLAN
100' VP SERIES 4
408233 VP x 100X272 P0

FOU

3/32" = 1'-0"

SHEET 4 OF 15

P:\VP\2023 VP\408233 VP\100272\100272.dwg DATE: 14-01-2023 PC: C:\Users\Babu\AppData\Local\Temp\1\100272.dwg
2/1/2023 2:36 PM



UNDER EAVE KEDER EXTRUSION LENGTH = 17'-0" & 21'-0"
EXTRUSION ON GRIDS 1 & 18 ONLY

CALHOUN

DRAWINGS FOR
APPROVAL

APPROVED FOR
PRODUCTION BY

Calhoun Steel Structures Ltd
2700 Steeles Rd. East
Unit 10, Scarborough, Ontario
M1V 5P4
Tel: (416) 291-8800
Fax: (416) 291-8801
www.calhounsteel.com

DATE	BY
12/12/2022	SS
12/12/2022	SS

SEE APPROVED DETAILING & REV
EXTRUSION AND KEDER SHALL BE
INSTALLED AS SHOWN IN THE
DETAILS. IF NOT AS SHOWN, THE
INSTALLER SHALL BE RESPONSIBLE FOR
THE CORRECTION.

FOUNDATION AND ANCHORS
DESIGNED AND SUPPLIED BY OTHERS

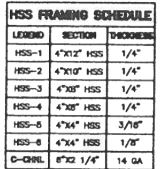
CALHOUN

EXTRUSION DETAIL
100' VP SERIES 4
408233 VP & 100X272 PD

D

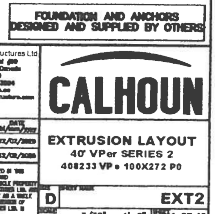
1/4" = 1'-0"

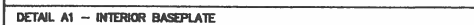
EXT1
10 OF 18



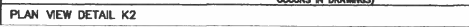
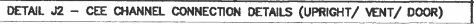
SIDE WALL KEDER EXTRUSION LENGTH = 272'-0"

1. INSTALL 4"x4" HSS SECTIONS BETWEEN TRUSSES AT THE TOP OF THE LEGS.
2. INSTALL KEDER EXTRUSION AS SHOWN ABOVE.
3. FEED THE KEEDER ON THE TOP OF EACH PANEL INTO THE KEDER EXTRUSION THAT HAS BEEN INSTALLED ALONG THE SIDE WALL AT THE TOP OF THE LEGS.
4. FEED KEDER DOWN EXTRUSION AT G/L'S 1 & 18, NOTCH EXTRUSION AS NECESSARY.
5. APPLY HORIZONTAL TENSIONING TO THE PANELS BY INSERTING PVC PIPES INTO THE NOTCHED PVC POCKETS AND TENSIONING WITH RATCHET STRAPS.
6. SECURE THE BELTING STRIPS TO THE LEG CHORDS WITH CAMBUCKLES.
7. OVERLAP THE ENDS OF THE FABRIC SIDE WALL PANELS (APPROX. 5" OVERLAP) AND FIELD WELD TOGETHER.

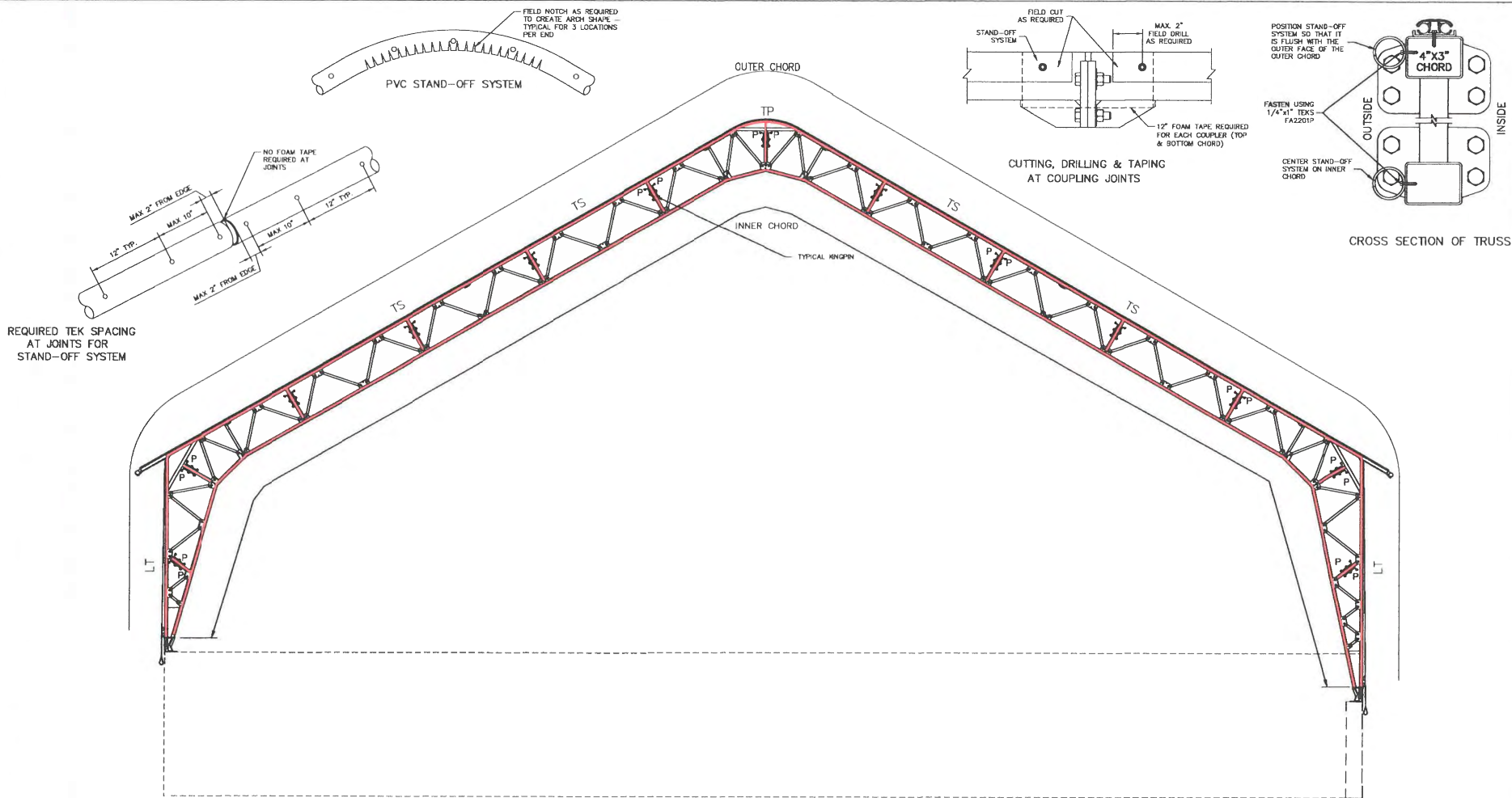




FOUNDATION AND ANCHORS
DESIGNED AND SUPPLIED BY OTHERS



P:\V\2023 V\408233 V\1000724\148173 GRT 148185 PC - Draw Bldg Japan\1\Engineering\408233 V\1000724 P0.dwg
2/18/2023 2:30 PM



PVC STAND-OFF APPROXIMATE LENGTHS PER END

OUTER CHORD = 149'-5"

INNER CHORD = 136'-4"

TOTAL LENGTH FOR KINGPINS = 34'-11"

INSTALL AS SHOWN AT GRID 1 & 18

FOUNDATION AND ANCHORS
DESIGNED AND SUPPLIED BY OTHERS

CALHOUN
DRAWINGS FOR
APPROVAL

APPROVED FOR
PRODUCTION BY

Calhoun Super Structures Ltd.
3000, Avenue 48, #10
Lyon, Quebec, Canada
H3T 2G2
+1 514 340-1000
www.calhounsuperstructures.com

NAME	DATE
DESIGNED	12/05/2022
DRAWN	4/8 12/05/2022
CHECKED	A 6/8 12/05/2022

ALL INFORMATION CONTAINED HEREIN IS THE PROPERTY OF CALHOUN SUPER STRUCTURES LTD. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

CALHOUN

PVC LAYOUT
100' VPc SERIES 4
408233 VPc 100X272 P0

SCALE: 3/16" = 1'-0"

PVC

RESOLUTION NO. 3425

**A RESOLUTION PERTAINING TO THE
RIGHT TO FARM IN CHAMPAIGN COUNTY**

WHEREAS, the Chairman and the Board of Champaign County have determined that it is in the best interest of the residents of Champaign County to enact a Right to Farm Resolution which reflects the essence of the Farm Nuisance Suit Act as provided for in the Illinois Compiled Statutes, 740 ILCS 70 (1992); and

WHEREAS, the County wishes to conserve, protect, and encourage development and improvement of its agricultural land for the production of food and other agricultural products; and

WHEREAS, when nonagricultural land uses extend into agricultural areas, farms often become the subject of nuisance suits. As a result, farms are sometimes forced to cease operations. Others are discouraged from making investments in farm improvements.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Chairman and the Board of Champaign County as follows:


1. That the purpose of this resolution is to reduce the loss to the county of its agricultural resources by limiting the circumstances under which farming operations are deemed a nuisance.

2. That the term "farm" as used in this resolution means that part of any parcel of land used for the growing and harvesting of crops, for the feeding, breeding, and management of livestock; for dairying or other agricultural or horticultural use or combination thereof.

3. That no farm or any of its appurtenances should be or become a private or public nuisance because of any changed conditions in the surrounding area occurring after the farm has been in operation for more than one year, when such farm was not a nuisance at the time it began operation.

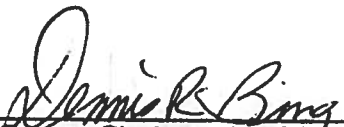
4. That these provisions shall not apply whenever a nuisance results from the negligent or improper operation of any farm or its appurtenances.

PRESENTED, ADOPTED, APPROVED AND RECORDED this 24th day of
May, A.D., 1994.



Chairman, County Board of the
County of Champaign, Illinois

ATTEST:



County Clerk and Ex-Officio
Clerk of the County Board

SUMMARY FINDING OF FACT AND FINAL DETERMINATION FOR CASE 167-AM-25

As approved by the ZBA on July 17, 2025

SUMMARY FINDING OF FACT

From the documents of record and the testimony and exhibits received at the public hearing conducted on **July 17, 2025**, the Zoning Board of Appeals of Champaign County finds that:

1. The proposed Zoning Ordinance map amendment will **HELP ACHIEVE** the Land Resource Management Plan because:
 - A. Regarding Goal 3:
 - (1) Although the proposed rezoning is **NOT DIRECTLY RELEVANT** to any of the Goal 3 objectives, the proposed rezoning will allow Premier Cooperative to continue operations at the Dewey location with proper zoning and to continue to serve the needs of the farmers of Champaign County.
 - (2) Based on achievement of the above and because it will either not impede or is not relevant to the other Objectives and Policies under this goal, the proposed map amendment will **HELP ACHIEVE** Goal 3 Prosperity.
 - B. Regarding Goal 4 Agriculture:
 - (1) The proposed amendment will **HELP ACHIEVE** Objective 4.1 requiring minimization of the fragmentation of farmland, conservation of farmland, and stringent development standards on best prime farmland because it will **HELP ACHIEVE** the following:
 - a. Policy 4.1.1, which states that commercial agriculture is the highest and best use of land in the areas of Champaign County that are by virtue of topography, soil and drainage, suited to its pursuit. The County will not accommodate other land uses except under very restricted conditions or in areas of less productive soils (see Item 15.B.(2)).
 - b. Policy 4.1.4, which states that the County will guarantee landowners of one or more lawfully created lots that are recorded or lawfully conveyed and are considered a good zoning lot (i.e., a lot that meets County zoning requirements in effect at the time the lot is created) the by right development allowance to establish a new single family dwelling or non-agricultural land use on each such lot, provided that current public health, safety and transportation standards are met (see Item 15.B.(3))
 - a. Policy 4.1.6 requiring that the use, design, site and location are consistent with policies regarding suitability, adequacy of infrastructure and public services, conflict with agriculture, conversion of farmland, and disturbance of natural areas (see Item 15.B.(4))
 - b. Policy 4.1.7 minimizing the conversion of best prime farmland (see Item 15.B.(5))
 - c. Policy 4.1.8 requiring the County to consider the LESA rating for farmland protection when making land use decisions regarding a discretionary development (see Item 15.B.(6))

SUMMARY FINDING OF FACT AND FINAL DETERMINATION FOR CASE 167-AM-25

As approved by the ZBA on July 17, 2025

- (2) The proposed amendment will **HELP ACHIEVE** Objective 4.2 requiring discretionary development to not interfere with agriculture because it will **HELP ACHIEVE** the following:
 - a. Policy 4.2.1 requiring a proposed business in a rural area to support agriculture or provide a service that is better provided in the rural area (see Item 15.C.(2)).
 - b. Policy 4.2.2 requiring discretionary development in a rural area to not interfere with agriculture or negatively affect rural infrastructure (see Item 15.C.(3)).
 - c. Policy 4.2.3 requiring that each proposed *discretionary development* explicitly recognize and provide for the right of agricultural activities to continue on adjacent land (see Item 15.C.(4)).
 - d. Policy 4.2.4 requiring that all discretionary review consider whether a buffer between existing agricultural operations and the proposed development is necessary (see Item 15.C.(5)).
 - (3) It will **HELP ACHIEVE** Objective 4.3 requiring any discretionary development to be on a suitable site because it will **HELP ACHIEVE** the following:
 - a. Policy 4.3.2 requiring a discretionary development on best prime farmland to be well-suited overall (see Item 15.D.(2)).
 - b. Policy 4.3.3 requiring existing public services be adequate to support the proposed development effectively and safely without undue public expense (see Item 15.D.(3)).
 - c. Policy 4.3.4 requiring existing public infrastructure be adequate to support the proposed development effectively and safely without undue public expense (see Item 15.D.(4)).
 - d. Policy 4.3.5 requiring that a business or non-residential use establish on best prime farmland only if it serves surrounding agriculture and is appropriate in a rural area (see Item 15.D.(5)).
 - (4) Based on achievement of the above Objectives and Policies and because it will either not impede or is not relevant to the other Objectives and Policies under this goal, the proposed map amendment will **HELP ACHIEVE** Goal 4 Agriculture.
- C. Regarding Goal 7 Transportation:
- (1) The proposed amendment will **HELP ACHIEVE** Objective 7.1 requiring the consideration of traffic impact in land use decisions because it will **HELP ACHIEVE** the following:
 - a. Policy 7.1.1 requiring traffic impact analyses for projects with significant traffic generation (see Item 18.A.(1)).

SUMMARY FINDING OF FACT AND FINAL DETERMINATION FOR CASE 167-AM-25

As approved by the ZBA on July 17, 2025

- (2) Based on achievement of the above Objectives and Policies and because it will either not impede or is not relevant to the other Objectives and Policies under this goal, the proposed map amendment will **HELP ACHIEVE** Goal 7 Transportation.

D. Regarding Goal 8 Natural Resources:

- (1) The proposed amendment will **HELP ACHIEVE** Objective 8.4 requiring the County to work to ensure that new development maintains and improves surface water quality, contributes to stream channel stability, and minimizes erosion and sedimentation because it will **NOT IMPEDE** the following:
 - a. Policy 8.4.1 requiring the County to incorporate the recommendations of adopted watershed plans in the review of new discretionary development (see Item 19.A.(1)).
 - b. Policy 8.4.2 requiring the County to require stormwater management designs and practices that provide effective site drainage, protect downstream drainage patterns, minimize impacts on adjacent properties and provide stream flows that support healthy aquatic ecosystems (see Item 19.A.(2)).
 - c. Policy 8.4.5 requiring the County to ensure that non-point discharges from new development meets or exceeds state and federal water quality standards (see Item 19.A.(3)).
- (2) The proposed amendment will **HELP ACHIEVE** Objective 8.5 requiring the County to encourage the maintenance and enhancement of aquatic and riparian habitats because it **WILL HELP ACHIEVE** the following:
 - a. Policy 8.5.2 requiring that new discretionary development cause no more than minimal disturbance to the stream corridor environment (see Item 19.B.(2)).
 - b. Policy 8.5.3 requiring the County to encourage the preservation and voluntary restoration of wetlands and a net increase in wetland habitat acreage (see Item 19.B.(3)).
 - c. The proposed amendment will **NOT IMPEDE** Policy 8.5.1 requiring the County to require discretionary development to have land use patterns, site design standards, and land management practices that, wherever possible, preserve existing habitat, enhance degraded habitat and restore habitat (see Item 18.B.(1)).
- (3) The proposed amendment will **NOT IMPEDE** Objective 8.6 requiring the County to encourage resource management which avoids loss or degradation of areas representative of the pre-settlement environment and other areas that provide habitat for native and game species because it will **HELP ACHIEVE** the following:
 - a. Policy 8.6.2 requiring that for new development the County will require land use patterns, site design standards, and land management practices to minimize the disturbance of existing areas that provide habitat for native

SUMMARY FINDING OF FACT AND FINAL DETERMINATION FOR CASE 167-AM-25

As approved by the ZBA on July 17, 2025

and game species or to mitigate impacts of unavoidable disturbance (see Item 19.C.(1)).

- b. Policy 8.6.3 requiring the County to use the Illinois Natural Areas Inventory and other scientific sources of information to identify priority areas for protection or which offer the potential for restoration, preservation, or enhancement (see Item 19.C.(2)).
- c. The proposed amendment will **NOT IMPEDE** Policy 8.6.4 requiring the County to implement IDNR recommendations for discretionary development sites that contain endangered or threatened species and to seek to ensure that recommended management practices are maintained on such sites (see Item 18.C.(3)).

- (4) Based on achievement of the above Objectives and Policies and because it will either not impede or is not relevant to the other Objectives and Policies under this goal, the proposed map amendment will **HELP ACHIEVE** Goal 8 Natural Resources (see Item 19).

E. The proposed amendment will **NOT IMPEDE** the following LRMP goal(s):

- Goal 1 Planning and Public Involvement
- Goal 2 Governmental Coordination
- Goal 5 Urban Land Use
- Goal 6 Public Health and Public Safety
- Goal 9 Energy Conservation
- Goal 10 Cultural Amenities

F. Overall, the proposed map amendment will **HELP ACHIEVE** the Land Resource Management Plan.

2. The proposed Zoning Ordinance map amendment **IS** consistent with the *LaSalle* and *Sinclair* factors because of the following:

- A. The proposed map amendment would allow Ehler Brothers to continue to support area agricultural activities and expand its operations at the Royal facility.
- B. The map amendment will help ensure the value of the subject property by allowing the continued operation of the fertilizer business.
- C. Properties adjacent to the subject property have maintained the same uses for years.
- D. The subject property is well-suited overall for the proposed land use.
- E. The proposed use is a service better provided in a rural area.

3. The proposed Zoning Ordinance map amendment will **HELP ACHIEVE** the purpose of the Zoning Ordinance because:

SUMMARY FINDING OF FACT AND FINAL DETERMINATION FOR CASE 167-AM-25

As approved by the ZBA on July 17, 2025

- A. The rezoning would achieve Purpose 2.0 (b), by conserving the value of the subject property by allowing the continued operation of the fertilizer sales business (see Item 23. B).
- B. The rezoning would achieve Purpose 2.0 (c) to lessen and avoid congestion in the public streets because there would be no significant increase in traffic (see Item 23. C).
- C. The rezoning would achieve Purpose 2.0 (d) of the Ordinance to lessen and avoid hazards to persons and damage to property resulting from the accumulation of runoff of storm or flood waters because the proposed site plan shows a system of drainage inlets and lines that will collect stormwater and direct it to the nearby drainage ditch (see Item 23. D).
- D. The rezoning would achieve Purpose 2.0 (i) of the Ordinance. Establishing the B-1 District at this location will help classify, regulate, and restrict the location of the uses authorized in the B-1 District (see Item 23.G.).
- E. The rezoning would achieve Purpose 2.0 (q) of the Ordinance to encourage the preservation of agricultural belts surrounding urban areas, to retain the agricultural nature of the County and the individual character of existing communities (see Item 23.L.).

4. THE SPECIAL CONDITION IMPOSED HEREIN IS REQUIRED FOR THE PARTICULAR PURPOSES DESCRIBED BELOW:

- A. **A Zoning Use Permit and applicable fees shall be required any future construction on the property.**

The special condition stated above is required to ensure the following:

Conformance with the Champaign County Zoning Ordinance.

- B. **The owners of the subject property hereby recognize and provide for the right of agricultural activities to continue on adjacent land consistent with the Right to Farm Resolution 3425.**

The special condition stated above is required to ensure the following:

Conformance with Policy 4.2.3 of the Land Resource Management Plan.

SUMMARY FINDING OF FACT AND FINAL DETERMINATION FOR CASE 167-AM-25

As approved by the ZBA on July 17, 2025

FINAL DETERMINATION

Pursuant to the authority granted by Section 9.2 of the Champaign County Zoning Ordinance, the Zoning Board of Appeals of Champaign County recommends that:

The Zoning Ordinance Amendment requested in **Case 167-AM-25 should BE ENACTED** by the County Board in the form attached hereto.

SUBJECT TO THE FOLLOWING SPECIAL CONDITIONS:

- A. A Zoning Use Permit and applicable fees shall be required any future construction on the property.**
- B. The owners of the subject property hereby recognize and provide for the right of agricultural activities to continue on adjacent land consistent with the Right to Farm Resolution 3425.**

The foregoing is an accurate and complete record of the Findings and Determination of the Zoning Board of Appeals of Champaign County.

SIGNED:

ATTEST:

Cynthia Cunningham, Interim Chair
Champaign County Zoning Board of Appeals

Secretary to the Zoning Board of Appeals

Date