

CASES 869-AM-17 and 870-S-17

PRELIMINARY MEMORANDUM

June 22, 2017

Petitioner: Stonetown Woodland Acres LLC, via agent Michael Friend

Case 869-AM-17

Request: Amend the Zoning Map to change the zoning district designation in order to operate the proposed Special Use with waivers in related Zoning Case 870-S-17 for the following portions of the subject property:

Part A: Change the zoning district designation from the R-1 Single Family Residence Zoning District to the R-5 Manufactured Home Park Zoning District for the eastern 150 feet of the subject property.

Part B: Change the zoning district designation from the B-2 Neighborhood Business Zoning District to the R-5 Manufactured Home Park Zoning District for the 1.66 acre lot on the west end of the subject property.

Case 870-S-17

Request: Authorize the expansion and use of an existing, nonconforming manufactured home park with 93 existing and an additional 21 proposed manufactured home sites, as a Special Use Permit in the R-5 Manufactured Home Park Zoning District, contingent upon the rezoning of the eastern 150 feet of the subject property in related case 869-AM-17 and also subject to waivers A through R as listed on the legal advertisement, on the subject property described below.

Location: Three tracts of land generally south and east of the Urbana spur of I-74 (University Avenue/IL Route 130), north of US Route 150 (University Avenue) and west of Smith Road, in the Southeast Quarter of the Southeast Quarter of Section 9 and the West Half of the Southwest Quarter of Section 10 of Township 19 North, Range 9 East of the Third Principal Meridian in Urbana Township and commonly known as Woodland Acres Manufactured Home Park, with an address of 2200 East University, Urbana.

Site Area: 13.37 acres

Time Schedule for Development: Already in use; for expansion, as soon as possible

Prepared by: **Susan Burgstrom**
Senior Planner

John Hall
Zoning Administrator

BACKGROUND

Variance Case 871-V-17 is no longer necessary, as determined by the Zoning Administrator based on information received since the legal advertisement was printed.

Stonetown Woodland Acres LLC purchased the subject property in 2016 with the intention of making improvements to the existing manufactured home park and expanding it to include a 3.66 acre wooded area that is already part of the subject property. 91 of the 93 existing home sites were constructed prior to the adoption of the Zoning Ordinance on October 10, 1973. The other 2 existing sites were constructed without permission sometime after the County's 2014 aerial photos were taken. The petitioners proposed adding 21 new home sites to the northeast corner of the subject property and extending the existing private access drive to North Smith Road at its intersection with Slayback Street.

Manufactured Home Sites are only allowed within Manufactured Home Parks in the R-5 Zoning District with a Special Use Permit. Two areas of the subject property are in the B-2 Neighborhood Business and R-1 Single Family Residence Zoning Districts. In order to bring the existing home sites into compliance and to construct the proposed home sites, rezoning these parts of the property to R-5 is necessary.

The Special Use Permit includes proposed waiver parts A through R to bring the existing property into compliance with the Zoning Ordinance. Waiver parts B and H include proposed expansion sites that have geographic constraints due to existing roadways.

EXISTING LAND USE AND ZONING FOR THE MAP AMENDMENT SUBJECT PROPERTY

Table 1. Land Use and Zoning Summary

Direction	Land Use	Zoning
Onsite	Manufactured Home Park	R-1 Single Family Residence, B-2 Neighborhood Business, and R-5 MHP
North	vacant land to the northwest and a MHP directly north	R-4 Multiple Family Residence and R-5 Manufactured Home Park
East	Residential	R-1 Single Family Residence
West	Commercial (Casey's)	B-2 Neighborhood Business
South	Residential and commercial	B-2 Neighborhood Business, R-5 Manufactured Home Park, and R-1 Single Family Residence

EXTRATERRITORIAL JURISDICTION

The subject property is within the one and one-half mile extraterritorial jurisdiction of the City of Urbana, a municipality with zoning. Zoned municipalities have protest rights in Map Amendment cases. Notice of the public hearing was sent to the City.

The subject property is located within Urbana Township, which does not have a Planning Commission.

DECISION POINTS

The following decision points can be found in the Finding of Fact for Map Amendment Case 869-AM-17:

- Goal 7, Objective 7.1 and Policy 7.1.1

- Sinclair factor H
- Conformance with LaSalle and Sinclair Factors
- Purpose of the Zoning Ordinance 2.0(c)

PUBLIC COMMENT

The following comments have been received to date:

- (1) Fred Wahlfeldt, who resides at 208 Ira Street, called on June 19, 2017, to express opposition to the proposed plans.
- (2) Tim Johnson called the P&Z Department on June 21, 2017 on behalf of some residents in the Edgewood Subdivision (east of the subject property). They are opposed to the proposed road connecting to North Smith Road at Slayback Street.
- (3) The Urbana Township Road Commissioner has been notified of this case. He called the P&Z Department on June 21, 2017, to express opposition to the new road access to North Smith Road at Slayback Street.

P&Z Staff emailed IDOT District 5 representative Kevin Trapp on June 21, 2017, to seek input on the existing home sites which encroach on the I-74 right-of-way. The encroachment has occurred since at least 1988, but staff wants to ensure that IDOT requirements are met as part of the approval process.

PROPOSED SPECIAL CONDITIONS

There are no proposed special conditions for Case 869-AM-17.

The following special conditions are proposed for Case 870-S-17:

- A. **Within 30 days of approval of Case 869-AM-17 by the Champaign County Board, the petitioner shall file a miscellaneous document with the Champaign County Recorder of Deeds stating the Stonetown Woodland Acres Manufactured Home Park was authorized subject to special conditions in Case 870-S-17, and the document shall contain all of the special conditions of approval for Case 870-S-17. A copy of the recorded document shall be given to the Zoning Administrator after filing with the Recorder of Deeds.**

The special condition stated above is required to ensure the following:

That any prospective purchaser of the subject property is aware of all of the special conditions of approval.

- B. **The Zoning Administrator shall not authorize a Zoning Compliance Certificate until the petitioners have demonstrated that any new or proposed exterior lighting on the subject property will comply with the lighting requirements of Section 6.1.2.**

The special condition stated above is required to ensure the following:

That any proposed exterior lighting is in compliance with the Zoning Ordinance.

- C. **That the petitioners develop the recreation areas within two years and in accordance with the most recent version of the *Illinois Mobile Home Park Act (210 ILCS 115)* and the *Illinois Department of Public Health Manufactured Home Community Code (860 ILCS 220)*.**

The special condition stated above is required to ensure the following:

That Stonetown Woodland Acres conforms to State of Illinois requirements.

- D. **On-street parking shall be allowed only when there is at least 24 feet in unobstructed pavement width for travel, and shall be clearly marked with signs at each entrance to the development or sufficiently throughout the park and these signs shall be in place before any replacement of homes occurs and shall be verified in all inspections by the Zoning Administrator.**

The special condition stated above is required to ensure the following:

That there is always adequate emergency vehicle access.

- E. **Replacement homes shall conform to setback and yard requirements established in Zoning Ordinance Section 6.2.2, unless larger replacement homes occupy more than one of the existing home sites.**

The special condition stated above is required to ensure the following:

That replacement homes do not make the manufactured home park more nonconforming with Zoning Ordinance requirements.

- F. **Any proposed new construction and/ or proposed new use shall be authorized and established as follows:**

- (1) **A Change of Use Permit shall be required for any replacement of existing nonconforming structures. The replacement structure shall be inspected by the Zoning Administrator prior to occupancy and if the replacement structure is in compliance with the approval in Case 870-S-17, then the Zoning Administrator shall authorize occupancy in a Zoning Compliance Certificate. The total fee for a Change of Use Permit for replacement of existing nonconforming structures, including the Zoning Compliance Certificate, shall be \$66 per home site.**
- (2) **Each new home on proposed sites 94 through 114 shall be established pursuant to a Zoning Use Permit that may include all homes on one combined permit or individual homes on individual permits at a fee of \$33 per each site plus a Zoning Compliance Certificate fee of \$33 per each site.**
- (3) **Development of the proposed recreation areas shall be authorized either under a Change of Use Permit for a fee of \$65 or may be combined for no fee with any other required Change of Use Permit or Zoning Use Permit.**

The special condition stated above is required to ensure the following:

To clarify the permits that are required to ensure conformance with the Zoning Ordinance.

- G. **The Overall Layout Plan by Farnsworth Group, received June 16, 2017, and the Revised Expansion Permit Drawings for proposed new home sites received June 16, 2017, comprise the official site plan for approval in Case 870-S-17.**

The above special condition is necessary to ensure the following:

That it is clear which version of the Site Plan submitted by the petitioners is the approved Site Plan.

ATTACHMENTS

- A Full legal advertisement from June 14, 2017 *News Gazette*
- B Case Maps (Location, Land Use, Zoning)
- C Overall Layout Plan by Farnsworth Group, received June 16, 2017
- D Revised Expansion Permit Drawings for proposed new home sites received June 16, 2017
- E ALTA/NSPS Land Title Survey for existing home sites created by Berns, Clancy and Associates, received January 27, 2017
- F EcoCAT online report dated January 24, 2017
- G Storm Water Drainage Plan received January 27, 2017
- H Email from Michael Friend received November 4, 2016, with attachment:
- Typical home site diagram
- I Email from Rick Hafer, Illinois Department of Public Health, received November 10, 2016, with attachments:
- Construction permit dated May 10, 1960, for 43 home sites in Wilson Trailer Park
 - Construction permit dated January 5, 1970, for 32 home sites in Wilson Trailer Park
- J Email from Michael Friend received June 16, 2017, with attachment:
- Copy of Illinois Department of Public Health Permit Site Expansion Application packet received June 16, 2017
- K Email from Fred and Sharon Gerth received June 21, 2017
- L LRMP Land Use Goals, Objectives, and Policies
- M LRMP Appendix of Defined Terms
- N Site Images packet
- O Summary of Evidence, Finding of Fact, and Final Determination for Case 869-AM-17
- P Summary of Evidence, Finding of Fact, and Final Determination for Case 870-S-17

LEGAL PUBLICATION: WEDNESDAY, JUNE 14, 2017

CASES 869-AM-17, 870-S-17, AND 871-V-17

NOTICE OF A PUBLIC HEARING IN REGARD TO A REZONING ON PROPERTY IN UNINCORPORATED CHAMPAIGN COUNTY, A SPECIAL USE PERMIT WITH WAIVERS, AND A VARIANCE UNDER THE PROVISIONS OF THE CHAMPAIGN COUNTY ZONING ORDINANCE.

Stonetown Woodland Acres LLC, 720 S Colorado Blvd, Suite 1150-N, Glendale, CO 80246, includes Principals Dax Nolen, Vice President, 720 S Colorado Blvd, Suite 1150-N, Glendale, CO 80246; Roy Lapidus, Manager, 1 Alexander Lane, Greenwood Village, CO 80121; and Adam Minnick, Manager, 452 Leyden St, Denver, CO 80220. Michael Friend, Engineering Manager for Farnsworth Group, 2211 W Bradley Ave, Champaign, is the agent working on behalf of Stonetown Woodland Acres LLC for these zoning cases, and has filed petitions for a Zoning Map Amendment, a Special Use Permit with Waivers, and a Variance under the provisions of the Champaign County Zoning Ordinance on property in unincorporated Champaign County. The petitions are on file in the office of the Champaign County Department of Planning and Zoning, 1776 East Washington Street, Urbana, Illinois.

A public hearing will be held **Thursday, June 29, 2017, at 7:00 p.m.** prevailing time in the John Dimit Meeting Room, Brookens Administrative Center, 1776 East Washington Street, Urbana, at which time and place the Champaign County Zoning Board of Appeals will consider petitions for the following:

CASE 869-AM-17

Amend the Zoning Map to change the zoning district designation to accommodate the proposed Special Use with waivers in related Zoning Case 870-S-17 and subject to the variance requested in related Case 871-V-17 for the following portions of the subject property described below:

Part A: Change the zoning district designation from the R-1 Single Family Residence Zoning District to the R-5 Manufactured Home Park Zoning District for the eastern 150 feet of the subject property described below.

Part B: Change the zoning district designation from the B-2 Neighborhood Business Zoning District to the R-5 Manufactured Home Park Zoning District for the 1.66 acre lot on the west end of the subject property described below.

CASE 870-S-17

Authorize the expansion and use of an existing, nonconforming manufactured home park with 93 existing and an additional 21 proposed manufactured home sites in the R-5 Manufactured Home Park Zoning District, contingent upon rezoning two parts of the subject property in related case 869-AM-17 and subject to the variance requested in related Case 871-V-17 and also subject to the following required waivers on the subject property described below:

Part A: Authorize a waiver from Section 6.2.1 C.2., for a Site Plan that does not include the number, location, and size of all Manufactured Home Sites.

Part B: Authorize a waiver for a setback of 0 feet between a manufactured home stand and a manufactured home park exterior boundary that faces a state or US highway or a major street in lieu of the minimum required 45 feet, per Section 6.2.2 C.1.a. for certain existing and proposed manufactured home sites.

Part C: Authorize a waiver for 9 Manufactured Home Sites for each gross acre of land in lieu of the maximum allowed 8 Manufactured Home Sites for each gross acre of land, per Section 6.2.2 B.

Part D: Authorize a waiver for a setback of 0 feet between a manufactured home stand and a manufactured home park exterior boundary that faces a township road or minor street in lieu of the minimum required 25 feet, per Section 6.2.2 C.1.c. for certain existing manufactured home sites.

Part E: Authorize a minimum rear yard of 0 feet in lieu of the minimum required 15 feet, per Section 6.2.2 C.2. for certain existing manufactured home sites.

Part F: Authorize a Manufactured Home Park with recreation space totaling 3 percent of the gross site area in lieu of the minimum required 8 percent of gross site area in recreation space and parcels (individual areas) of recreation space that are at least 3,985 square feet in area in lieu of the minimum required 6,000 square feet, per Section 6.2.2 D.

Part G: Authorize a waiver from Section 6.2.2 E.1., for a Site Plan that does not include the limits of each Manufactured Home Site.

Part H: Authorize a minimum setback (yard) of 2 feet in lieu of 15 feet between the manufactured home and the manufactured home site boundary adjacent to private accessways, per Section 6.2.2 E.2.a. for certain existing and proposed manufactured home sites.

Part I: Authorize a minimum setback (yard) of 8 feet in lieu of 20 feet between the entrance side of the manufactured home and the manufactured home site boundary, per Section 6.2.2 E.2.b. for certain existing manufactured home sites.

Part J: Authorize a minimum setback (rear and side yards) of 0 feet in lieu of the minimum required 10 feet, per Section 6.2.2 E.2.c. for certain existing manufactured home sites.

Part K: Authorize a minimum manufactured home site of 1,600 square feet in area in lieu of the minimum required 3,200 square feet, per Section 6.2.2 E.3. for certain existing manufactured home sites.

Part L: Authorize no outdoor paved living space in lieu of an outdoor living space of at least 160 square feet with a minimum dimension of 8 feet, per Section 6.2.2 E.5. for all existing manufactured home sites.

Part M: Authorize no improved off-street parking spaces for each existing manufactured home site in lieu of the minimum required two improved off-street parking spaces, per Section 6.2.2 E.7. for certain existing manufactured home sites.

Part N: Authorize a minimum pavement width of 18 feet for existing private accessways in lieu of the minimum required 24 feet for minor streets, per Section 6.2.2 F.5.

Part O: Authorize a waiver from Section 6.2.2 F.6., with respect to paving materials, curbs and gutters, grading, intersections, offsets, and radii of curvature, that the provisions of the Subdivision Ordinance shall apply to existing private accessways.

Part P: Authorize electrical service to the existing street lighting system to be located above ground in lieu of underground, per Section 6.2.2 G.2.

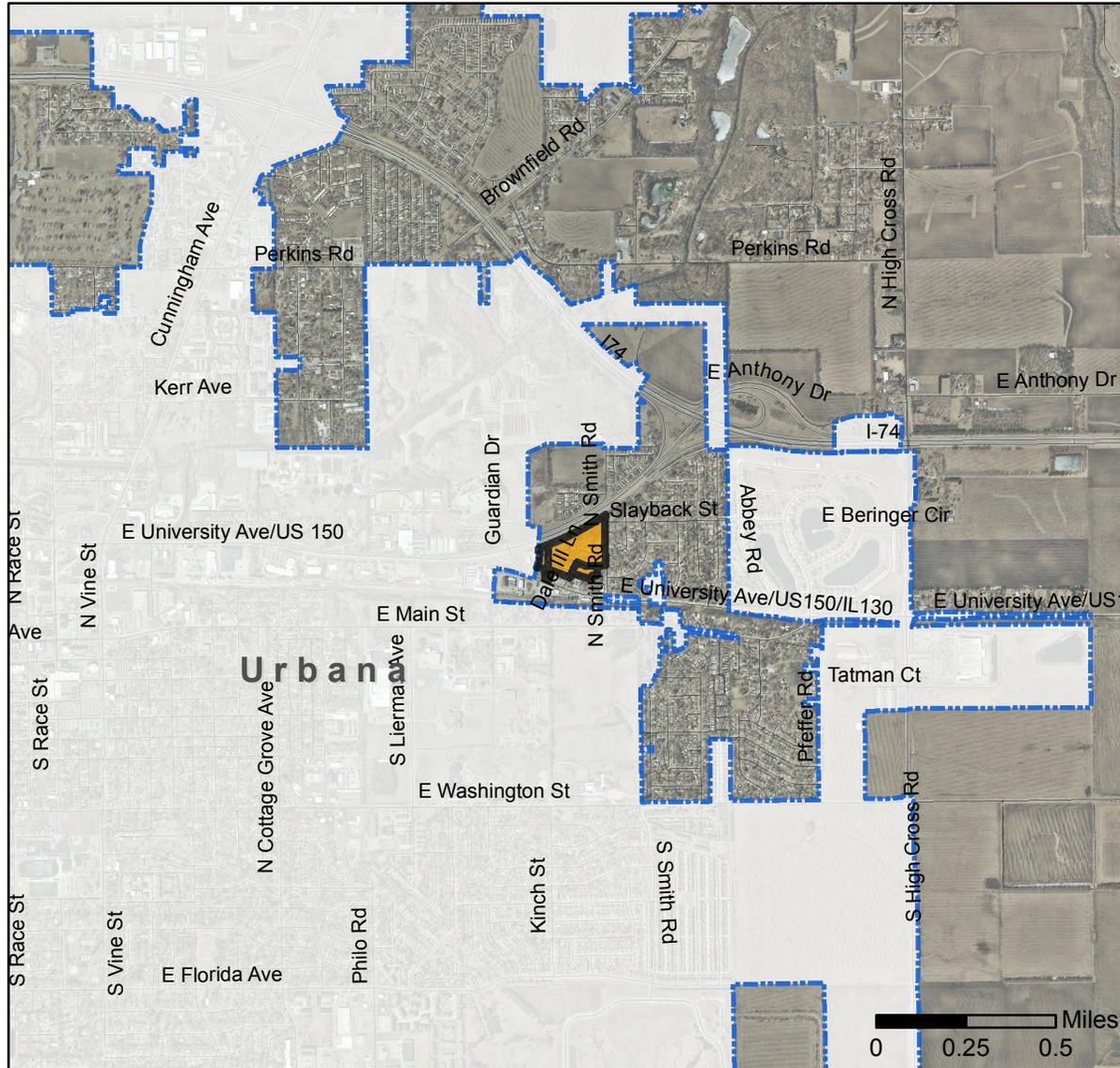
Part Q: Authorize a waiver for the electrical system for all existing homes and any used homes that will replace existing homes, and for the electrical distribution system to existing homes, to comply with the latest edition of the National Electric Code, per Section 6.2.3 D.1.

Part R: Authorize a waiver for a Manufactured Home Park that provides an off-site Management Office in lieu of an on-site Management Office, per Section 6.2.4 A.

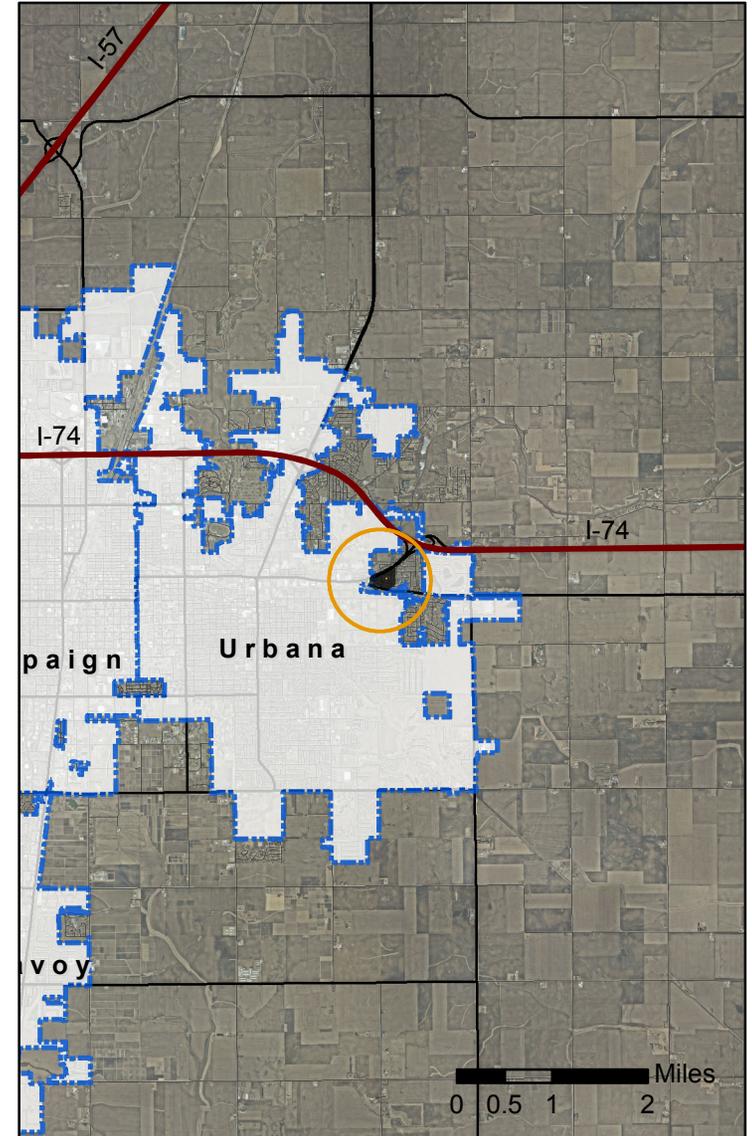
Location Map

Cases 869-AM-17 and 870-S-17
June 29, 2017

Subject Property



Property location in Champaign County



Legend

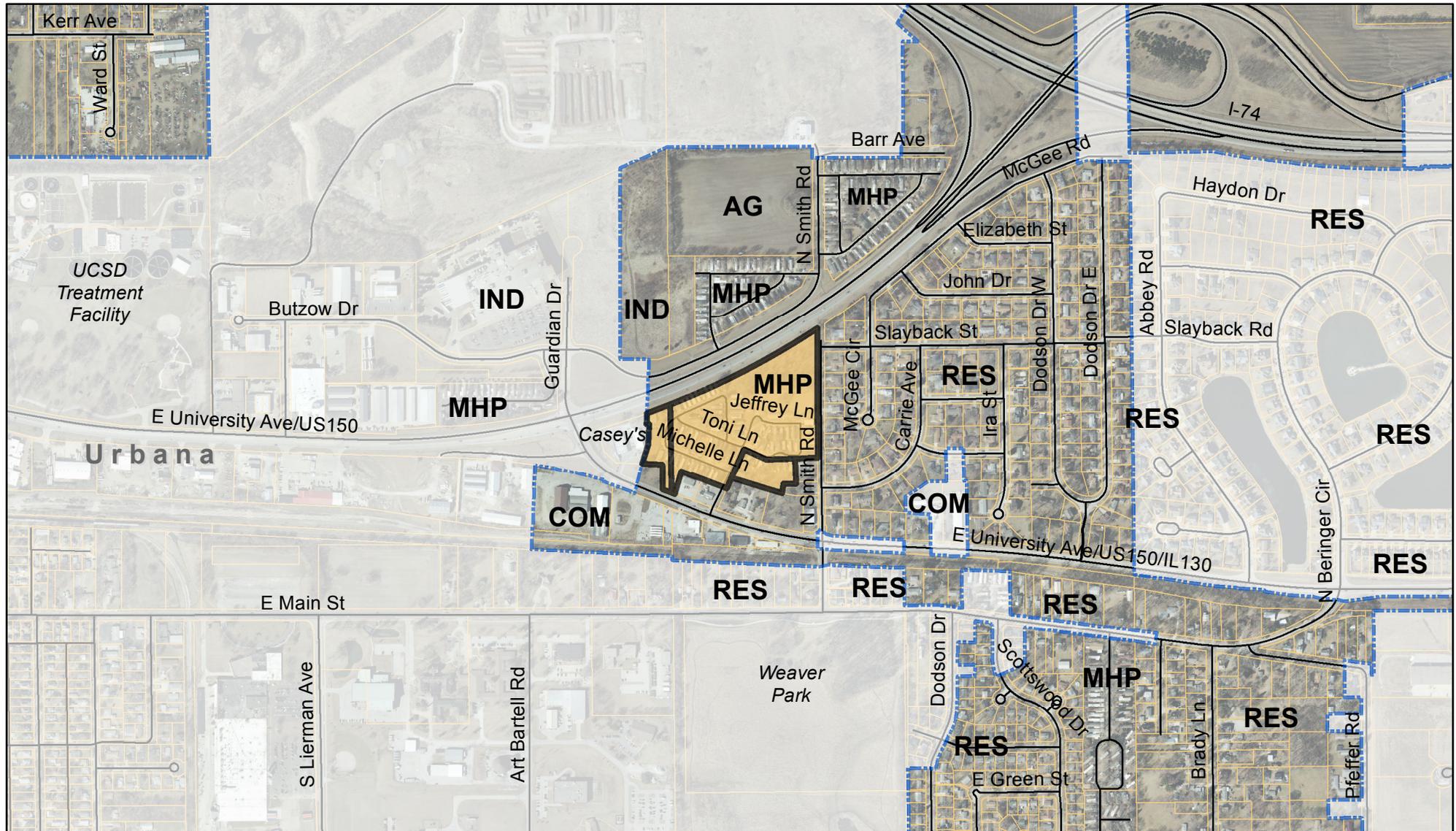
-  Subject Properties
-  Corporate Limits
-  Streets



Champaign County
Department of
PLANNING &
ZONING

Land Use Map

Cases 869-AM-17 and 870-S-17
June 29, 2017



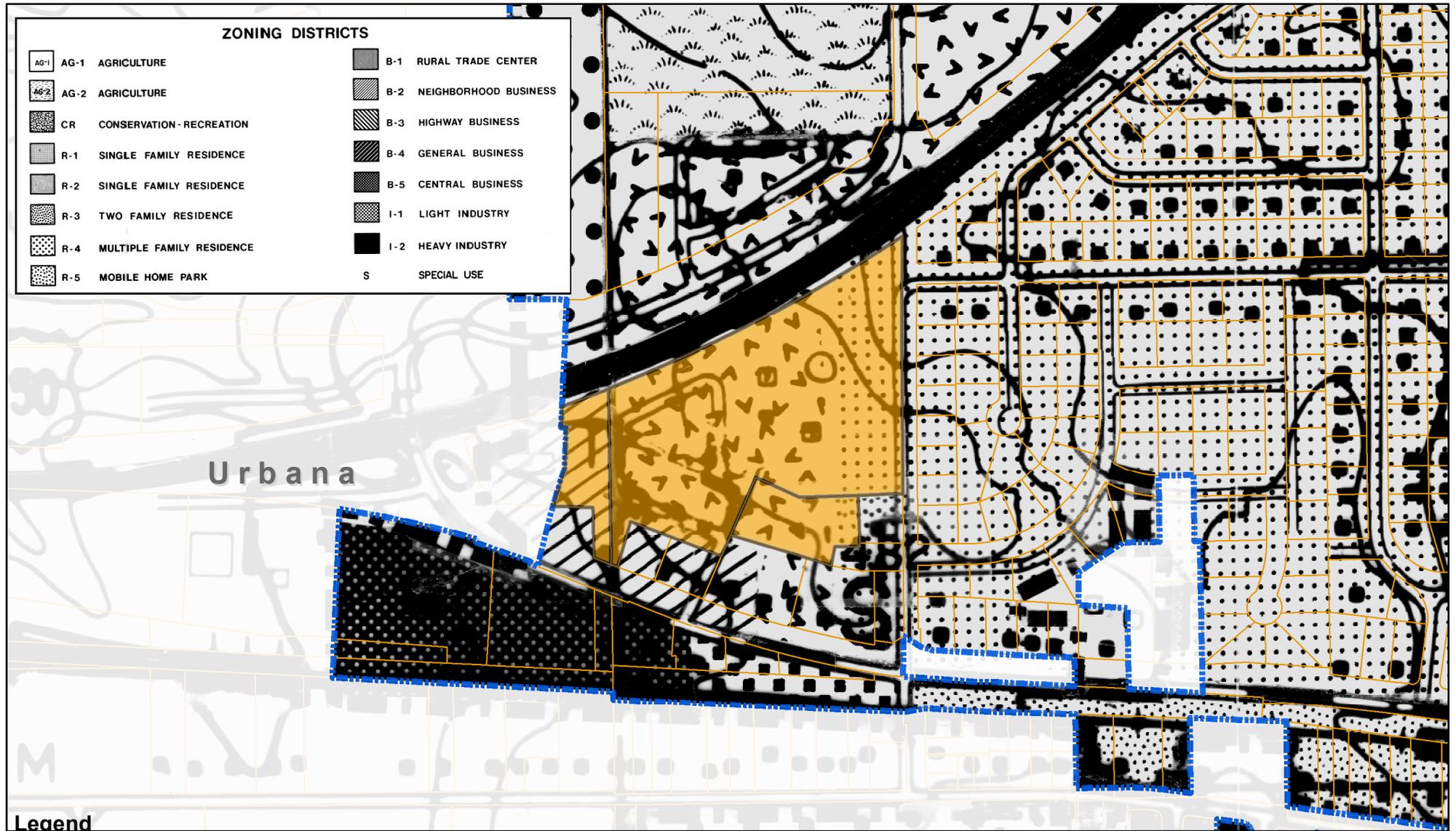
- Legend**
- Subject properties
 - Corporate Limits
 - Parcels

0 200 400 800 Feet

Champaign County
Department of
PLANNING &
ZONING

Zoning Map

Cases 869-AM-17 and 870-S-17
June 29, 2017



ZONING DISTRICTS

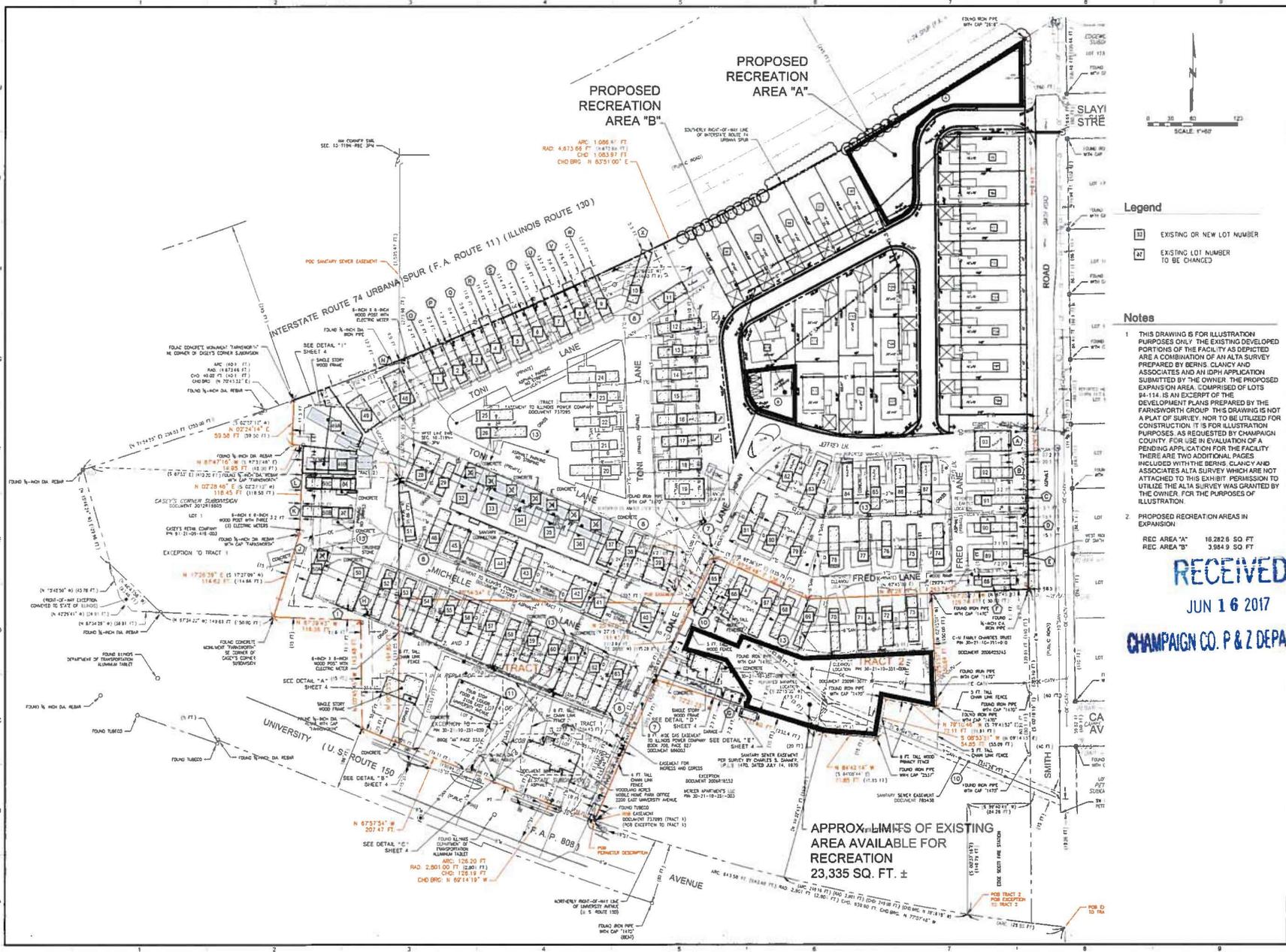
AG-1	AG-1 AGRICULTURE	B-1	RURAL TRADE CENTER
AG-2	AG-2 AGRICULTURE	B-2	NEIGHBORHOOD BUSINESS
CR	CONSERVATION - RECREATION	B-3	HIGHWAY BUSINESS
R-1	SINGLE FAMILY RESIDENCE	B-4	GENERAL BUSINESS
R-2	SINGLE FAMILY RESIDENCE	B-5	CENTRAL BUSINESS
R-3	TWO FAMILY RESIDENCE	I-1	LIGHT INDUSTRY
R-4	MULTIPLE FAMILY RESIDENCE	I-2	HEAVY INDUSTRY
R-5	MOBILE HOME PARK	S	SPECIAL USE

Legend

- Subject properties**
- Subject properties
 - Corporate Limits
 - Parcels

0 100 200 400 Feet

Champaign County
Department of
**PLANNING &
ZONING**



www.fng.com
 Engineers | Architects | Surveyors | Scientists

- Legend**
- 11 EXISTING OR NEW LOT NUMBER
 - 41 EXISTING LOT NUMBER TO BE CHANGED

- Notes**
1. THIS DRAWING IS FOR ILLUSTRATION PURPOSES ONLY. THE EXISTING DEVELOPED PORTIONS OF THE FACILITY AS DEPICTED ARE A COMBINATION OF AN ALTA SURVEY PREPARED BY BERNS, CLANCY AND ASSOCIATES AND AN IDPH APPLICATION SUBMITTED BY THE OWNER. THE PROPOSED EXPANSION AREA, COMPRISED OF LOTS 84-114, IS AN EXCERPT OF THE DEVELOPMENT PLANS PREPARED BY THE FARNSWORTH GROUP. THIS DRAWING IS NOT A PLAT OF SURVEY, NOR TO BE UTILIZED FOR CONSTRUCTION. IT IS FOR ILLUSTRATION PURPOSES, AS REQUESTED BY CHAMPAIGN COUNTY FOR USE IN EVALUATION OF A PENDING APPLICATION FOR THE FACILITY. THERE ARE TWO ADDITIONAL PAGES INCLUDED WITH THE BERNS, CLANCY AND ASSOCIATES ALTA SURVEY WHICH ARE NOT ATTACHED TO THIS EXHIBIT. PERMISSION TO UTILIZE THE ALTA SURVEY WAS GRANTED BY THE OWNER FOR THE PURPOSES OF THIS ILLUSTRATION.
 2. PROPOSED RECREATION AREAS IN EXPANSION
 REC AREA "A" 16,282.6 SQ. FT.
 REC AREA "B" 3,984.9 SQ. FT.

Project Status
 NOT FOR CONSTRUCTION

PROJECT:
 WOODLAND ACRES
 STONETOWN MOBILE HOME PARK

RECEIVED

JUN 16 2017

CHAMPAIGN CO. P & Z DEPARTMENT

CHAMPAIGN COUNTY
 URBANA, ILLINOIS

Date: 06-16-17
 Design/Drawn: SDS
 Reviewed: MCR
 Field Book No:

OVERALL LAYOUT PLAN

1

Project No. 0161332.01

General Notes

- 1. THIS CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SPECIAL PROVISIONS ACCOMPANYING THESE PLANS AND THE FOLLOWING SPECIFICATIONS.
A. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, ADOPTED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION MODIFIED AS FOLLOWS:
a. UNDER SECTION 105, ADD THE FOLLOWING SENTENCE:
• NOTHING CONTAINED HEREIN SHALL RELIEVE CONTRACTOR OF ITS DUTY TO OBSERVE AND COMPLY WITH ALL APPLICABLE LAWS, NOR SHALL ENGINEER BE RESPONSIBLE FOR CONTRACTOR'S COMPLIANCE OR NON-COMPLIANCE WITH SUCH LAWS.
b. UNDER SECTION 107.01, ADD THE FOLLOWING SENTENCE:
• ENGINEER SHALL NOT BE RESPONSIBLE FOR CONTRACTORS DUTY TO OBSERVE AND COMPLY WITH THE PROVISIONS OF THIS SECTION, OR FOR CONTRACTORS FAILURE TO DO SO.
B. SUPPLEMENTAL SPECIFICATIONS AND RECURRING SPECIAL PROVISIONS*, LATEST EDITION, ADOPTED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION.
C. STANDARD SPECIFICATIONS FOR TRAFFIC CONTROL ITEMS, LATEST EDITION.
D. ILLINOIS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS*, LATEST EDITION.
E. STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS, 8TH EDITION, DATED JULY 2009.
F. CHAMPAIGN COUNTY REQUIREMENTS.
G. ILLINOIS URBAN MANUAL, LATEST EDITION.
H. STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS, 8TH EDITION, DATED JULY 2009.
I. CHAMPAIGN COUNTY REQUIREMENTS.
2. CONTACT ILLINOIS BY DIALING 811 OR 1-800-888-2122 AT LEAST 48 HOURS BUT NO MORE THAN 14 CALENDAR DAYS BEFORE DIGGING. REQUESTS CAN ALSO BE MADE ONLINE BY VISITING HTTP://WWW.ILLINOISCALL811.COM/WORKFLOW/REQUEST.
3. ALL UTILITY MAN AND SERVICE TRENCHES SHALL BE BACKFILLED WITH TRENCH BACKFILL MATERIAL IN ACCORDANCE WITH SECTION 208 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION WHERE THE TRENCH IS UNDER OR WITHIN 2 FEET OF EXISTING OR PROPOSED CURB & GUTTER, SIDEWALK OR PAVEMENT.
4. CONTRACTORS ARE ADVISED TO VISIT THE SITE PRIOR TO SUBMITTING BIDS.
5. SANITARY AND STORM SEWER CASTING NUMBERS IN THESE PLANS REFER TO THE MEDIUM FOUNDRY CO. CATALOG "R", LATEST EDITION.
6. EACH CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FROM CHAMPAIGN COUNTY AND REQUIRE INSURANCE COVERAGE PRIOR TO COMMENCING WORK.
A. ALL CONTRACTORS SHALL OBTAIN ALL NECESSARY COUNTY EXCAVATION PERMITS AND BONDS PRIOR TO BEGINNING CONSTRUCTION AND SHALL PROVIDE COPIES OF THE SAME TO THE ENGINEER.
B. CONTRACTORS ATTENTION IS CALLED TO CURRENT CITY, STATE AND FEDERAL (OSHA) SAFETY REGULATIONS AND GUIDELINES. CONTRACTORS SHALL BE FAMILIAR WITH THESE REGULATIONS AND GUIDELINES AND SHALL STRICTLY ADHERE TO THEM.
C. CONTRACTORS SHALL PROTECT, INDEMNIFY, DEFEND AND HOLD HARMLESS THE OWNERS, THE OWNERS ENGINEERS, AGENTS AND EMPLOYEES FROM ANY ATTORNEY'S FEES ARISING FROM THE CONTRACTOR'S PERFORMANCE OF THE WORK OF THIS PROJECT. THIS OBLIGATION SHALL INCLUDE, BUT NOT BE LIMITED TO, SUITS, ACTIONS OR CLAIMS ARISING UNDER THE ILLINOIS STRUCTURAL WORK LAW AND ANY SMALLER LAW OR STATUTE.
7. BARRICADES AND OTHER TRAFFIC CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION) AROUND THE PROPOSED CONSTRUCTION AREA UNTIL THE COMPLETION OF THE DEVELOPMENT.
8. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE PLANS AND ALL REFERENCED SPECIFICATIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR THAT BID PRICES AND WORK PERFORMED REFLECT THE PLANS AND ALL REFERENCED SPECIFICATIONS.
9. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE MEANS, METHODS, PROCEDURES, TECHNIQUES, OR SEQUENCES OF CONSTRUCTION, NOR SAFETY ON THE JOB SITE, NOR SHALL THE ENGINEER BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. NEITHER THE PROFESSIONAL ACTIVITIES OF THE ENGINEER NOR THE PRESENCE OF THE ENGINEER AT A CONSTRUCTION SITE SHALL RELIEVE THE CONTRACTOR OF THEIR OBLIGATIONS, DUTIES, AND RESPONSIBILITIES INCLUDING ANY HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES.
10. VERIFY SANITARY AND WATER SERVICE LOCATIONS WITH PLANS PRIOR TO INSTALLATION OF UTILITY SERVICES.
11. VERIFY ELECTRIC AND GAS SERVICE LOCATIONS WITH UTILITY PROVIDER PRIOR TO EXCAVATING TRENCHES FOR SERVICES.
12. INSTALL ALL ELECTRIC, GAS, ETC. CONDUITS PER THE UTILITY PROVIDER'S REQUIREMENTS. CONTRACTOR SHALL OBTAIN COPIES OF THEIR CONSTRUCTION STANDARDS AND PROVIDE CORRESPONDENCE TO THE OWNER, ENGINEER AND ARCHITECT THAT THEY HAVE OBTAINED, READ, AND UNDERSTAND THE CONSTRUCTION REQUIREMENTS PRIOR TO STARTING WORK. ADDITIONAL CORRESPONDENCE WILL NOT BE PROVIDED TO THE CONTRACTOR FOR FAILURE TO FOLLOW UTILITY PROVIDER'S REQUIREMENTS.
13. STREET LIGHTING WILL BE PROVIDED AT A MINIMUM AT LOCATIONS DEPICTED ON THE PLANS. LIGHTING SHALL MEET THE REQUIREMENTS OF SECTION 8.2.3.4 OF THE CHAMPAIGN COUNTY ZONING ORDINANCE. A PHOTOGRAPHIC PLAN VERIFYING THAT A MINIMUM OF 0.5 FOOTCANDLES THROUGHOUT THE STREET SYSTEM AND 0.3 FOOTCANDLES AT POTENTIALLY HAZARDOUS LOCATIONS WILL BE PROVIDED.

Sanitary Sewer Notes

- 1. UNLESS NOTED OTHERWISE, ALL SANITARY SEWER SHALL BE IN CONFORMANCE WITH THE FOLLOWING:
A. POLYVNYL CHLORIDE (PVC) ASTM D 3554 SDR 26, BELL AND SPOOT FOR ELASTOMERIC GASKET JOINTS, MINIMUM CELL CLASS 1484 B OR C.
a. JOINTS: ASTM D 3212
b. GASKETS: ASTM F 477 FLEXIBLE ELASTOMERIC
c. FITTINGS: SAME AS PIPE
2. TESTING AND INSPECTION OF SANITARY SEWERS FOR ACCEPTABILITY SHALL BE IN ACCORDANCE WITH SECT 311.13 OF THE STANDARD SPECIFICATIONS FOR WATER & SEWER MAIN CONSTRUCTION IN ILLINOIS.
A. EXHAUSTION OF AIR UNDER PRESSURE
B. DEFLECTION TESTING (PVC PIPE ONLY)
3. ALL UTILITY MAN AND SERVICE TRENCHES SHALL BE BACKFILLED WITH GRANULAR MATERIAL WHERE THE TRENCH IS UNDER OR WITHIN 2 FEET OF EXISTING OR PROPOSED CURB & GUTTER, SIDEWALK OR PAVEMENT.

CONSTRUCTION NOTES

Scale: 1"=10'-0"

Sanitary Sewer Notes (Continued)

- 4. ALL SANITARY MANHOLES SHALL BE 4 FEET IN DIAMETER AND HAVE AN EXTERNAL FIBRE GLASS CHIMNEY SEAL (TYPICAL MANHOLE OR EQUAL ASTM C-477 TYPE B) AND EXTERNAL SEALING FOR EACH MANHOLE JOINT (TYPICAL MANHOLE OR EQUAL ASTM C-477 TYPE B).
7. LEAKAGE TESTING OF ALL MANHOLES SHALL BE CONDUCTED IN ACCORDANCE WITH ASTM C1244-05, VOL. 4.85. MANHOLE TESTING SHALL BE PERFORMED BY THE CONTRACTOR.
8. CONTRACTOR SHALL DORE DRILL AND BOOT CONNECTIONS TO EXISTING MANHOLES.
9. VERIFY SANITARY SERVICE LOCATIONS WITH OWNER AND PLANS PRIOR TO INSTALLATION OF UTILITY SERVICES.
10. SEWER CONSTRUCTION SHALL BE PER THE URBANA-CHAMPAIGN SANITARY DISTRICT 2012 STANDARDS & SPECIFICATIONS AND THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS.

Watermain Notes

- 1. ALL WATER MAIN CONSTRUCTION AND TESTING SHALL BE IN ACCORDANCE WITH ILLINOIS AMERICAN WATER COMPANY'S TECHNICAL SPECIFICATIONS FOR WATER MAIN INSTALLATION* AND THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS*, LATEST EDITIONS.
2. ALL WATER MAIN PIPE SHALL BE A MINIMUM OF PRESSURE CLASS 300 DUCTILE IRON PIPE WITH PUSH-ON JOINTS AND CEMENT LINING CONFORMING TO THE REQUIREMENTS OF ANSII/AWWA C151/ASTM 814-17. ALL FITTINGS, OTHER THAN VALVES, SHALL BE CLASS 150 DUCTILE IRON FITTINGS WITH PUSH-ON JOINTS AND CEMENT LINING CONFORMING TO THE REQUIREMENTS OF ANSII/AWWA C151/ASTM 814-17 OR ANSII/AWWA C119/ASTM 1047. MECHANICAL JOINT END CONNECTIONS AND RETAINER GLANDS SHALL BE INSTALLED AS NOTED. TAPPED AND SPOUT PLUGS SHALL HAVE SPOUTS FOR 1/2" BELL OR PIPE OR FITTINGS. ALL MATERIALS SHALL BE CERTIFIED BY NSF WHERE APPLICABLE.
3. FOR WATER MAIN 12" DIAMETER AND SMALLER, ALL VALVES SHALL BE RESILIENT-SEAT GATE VALVES CONFORMING TO THE REQUIREMENTS OF ANSII/AWWA C504-17. GATE VALVE SHALL HAVE THE STANDARD 1/2" HIGH OPERATING HLT. CURING SEAL, VERTICAL NON-SPRING BRONZE STEEL INTERIOR FERROUS SURFACES EPOXY COATED (MIN. 8 MIL THICKNESS), IN ACCORDANCE WITH ANSII/AWWA C504-17. TYTON PUSH ON JOINTS, AND SHALL OPEN BY TURNING TO THE LEFT (COUNTER-CLOCKWISE). GATE VALVES SHALL BE DESIGNATED FOR 200 PSI WATER WORKING PRESSURE AND 400 PSI TESTING PRESSURE. ALL GATE VALVE MATERIALS AND GASKETS SHALL BE NSF CERTIFIED WHERE APPLICABLE.
4. VALVE BOXES SHALL BE ADJUSTABLE SCREW TYPE AND MADE OF CAST IRON. VALVE BOXES FOR 4", 6", 8" AND 12" VALVES SHALL HAVE A 5" DETERMINED SHAFT AND CONSIST OF A BASE, BOTTOM SECTION, TOP SECTION AND A LID MARKED "WATER".
5. ALL WATER MAIN SHALL BE WRAPPED WITH POLYETHYLENE FILM IN COMPLIANCE WITH ALL PROVISIONS OF ANSII/AWWA C110/S1.51-91 OR SUBSEQUENT REVISIONS THEREOF. MINIMUM THICKNESS 5-MIL.
6. TRENCH BACKFILL CONFORMING TO SECTION 208 OF THE STATE OF ILLINOIS DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" SHALL BE USED IN TRENCHES UNDER AND WITHIN TWO FEET OF ALL PAVED AREAS AND SHALL BE COMPACTED WITH RAMMING AND TAMING TOOLS BY THE INSTALLING CONTRACTOR PRIOR TO PAVEMENT CONSTRUCTION. CONTROLLED LOW STRENGTH MATERIAL (CLSM) "LOWMATERIAL FILL" MAY BE USED IN LIEU OF GRANULAR TRENCH BACKFILL.
7. TESTING OF WATER MAIN SHALL BE IDENTICAL TO THE COST OF CONSTRUCTION OF THE WATER MAIN AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE ENGINEER 24 HOURS PRIOR TO TESTING WATER MAIN.
8. MINIMUM HORIZONTAL AND VERTICAL SEPARATIONS BETWEEN WATER AND SEWER MAINS AS SET FORTH IN THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS* AND THE STATE OF ILLINOIS POLICIES SHALL BE FOLLOWED.
9. REFER TO ILLINOIS AMERICAN WATER COMPANY'S SPECIFICATIONS TITLED "PROCEDURES MANUAL FOR WATER MAIN EXTENSIONS" DATED MARCH 7, 1997, 2012 REVISION, FOR ADDITIONAL REQUIREMENTS FOR CONSTRUCTION OF WATER MAIN.
10. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND MWC 48 HRS PRIOR TO BEGINNING CONSTRUCTION.
11. ALL WATER MAIN CONSTRUCTION AND TESTING SHALL BE IN ACCORDANCE WITH ILLINOIS AMERICAN WATER COMPANY'S TECHNICAL SPECIFICATIONS FOR WATER MAIN INSTALLATION* AND THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS*, LATEST EDITIONS.
12. ALL UTILITY TRENCHES SHALL BE BACKFILLED WITH SELECTED GRANULAR MATERIAL, WHERE THE TRENCH IS UNDER OR WITHIN 2 FEET OF PROPOSED OR EXISTING CURB, PAVEMENT OR SIDEWALK.
13. VERIFY WATER SERVICE LOCATIONS WITH ILLINOIS AMERICAN WATER COMPANY AND THE OWNER PRIOR TO INSTALLATION OF UTILITY SERVICES.

Storm Sewer Notes

- 1. STORM SEWER MATERIALS INSTALLED SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
A. CONCRETE PIPE, REINFORCED: ASTM C 76 CLASS AB SHOWN ON THE PLANS.
a. GASKETS: ASTM C443 FLEXIBLE RUBBER OR BUTADIENUM RUBBER FOR STORM SEWERS.
b. FITTINGS: SAME AS PIPE
B. POLYVNYL CHLORIDE (PVC) ASTM D 3554 SDR 26, BELL AND SPOOT FOR ELASTOMERIC GASKET JOINTS, MINIMUM CELL CLASS 1484 B OR C.
a. JOINTS: ASTM D 3212
b. GASKETS: ASTM F 477 FLEXIBLE ELASTOMERIC
c. FITTINGS: SAME AS PIPE
C. POLYETHYLENE TEREPHTHALATE (PET) PIPE: ASTM D2241 (SDR-PR) NSF 14, (WHERE WATER MAIN QUALITY PIPE IS REQUIRED).
a. MINIMUM SDR RATING 21 (SDR-21) WITH MINIMUM PRESSURE RATING OF 200 PSI (1380 KPA) AT 23C.
b. PIPE MARKING NSF 14.
c. FITTINGS: DUCTILE IRON AWWA C-110 OR AWWA C-153 WITH GASKET JOINTS COMPATIBLE WITH PIPE FURNISHED.
d. GASKET: ASTM F477 ELASTOMERIC SEAL.
D. ADS 10-12 HIGH DENSITY POLYETHYLENE (HDPE)
a. JOINTS: ASHTO M-294, TYPE B WITH BELL AND SPOOT PUSH-ON ELASTOMERIC RUBBER "O-RING" GASKET JOINTS MEETING ASTM F-477.
b. FITTINGS: SAME AS PIPE.
c. INSTALLATION OF ADS 10-12 HDPE PIPE SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S (ADSS) PRODUCT NOTE 3.116.
d. INITIAL BACKFILL SHALL EXTEND 12" ABOVE THE PIPE AND MAY CONSIST OF PREVIOUSLY EXCAVATED LOW PLASTICITY CLASS N MATERIAL, THAT MEETS THE GRADATION REQUIREMENTS OF CLASS 1 OR
e. GRANULAR TRENCH BACKFILL REQUIREMENTS ARE THE SAME AS FOR RCP/ STORM SEWER.
f. ALL REACHES OF ADS 10-12 HDPE STORM SEWER SHALL BE LAMPED AND A 7" RADIUS OF LIGHT SHALL BE VISIBLE BETWEEN THE MANHOLES.
g. 4" UNDERDRAIN PIPING SHALL BE PERFORMED ADS 10-12.
2. ALL FIELD TIE ENCOUNTERED DURING CONSTRUCTION SHALL BE MAINTAINED IN SERVICE AND BE REPLACED WITH HOPE OR PVC PIPE STORM SEWER OF APPROPRIATE SIZE AND SLOPE.
3. FURNISHED SECTIONS SHALL BE PRECAST REINFORCED CONCRETE PER DOT STANDARD DETAIL 542301-05, OR 01101-02 (UNDERPAV), 4", 8" PIPES

Grading & Erosion Control Notes

- 1. ALL FILL AREAS SHALL BE STRIPPED OF ALL TOPSOIL PRIOR TO PLACING EMBANKMENT MATERIAL. LAWN AREAS THAT HAVE RECEIVED EMBANKMENT MATERIAL SHALL RECEIVE AT LEAST 8" OF TOPSOIL. AS THE FINAL COURSE OF FILL IN PREPARATION FOR SEEDING OPERATIONS, ALL LAWN AREAS DISTURBED DURING CONSTRUCTION SHALL BE REPAIRED AND RESTORED TO THE SATISFACTION OF THE OWNER.
2. EMBANKMENT MATERIAL SHALL BE PLACED IN LIFTS NOT TO EXCEED 8" LOOSE MEASURE.
3. AREAS UNDER BUILDINGS AND PAVEMENTS SHALL BE COMPACTED TO 95% STANDARD PROCTOR.
4. INLET & PIPE PROTECTION SHALL BE PROVIDED ON ALL EXISTING AND PROPOSED OPEN GRADE INLETS, MANHOLES, DRAIN BASINS, ETC. THAT ARE WITHIN AND IMMEDIATELY DOWNSTREAM OF THE PROPOSED DEVELOPMENT.
5. PERMANENT STABILIZATION SHALL INCLUDE THE SEEDING OF LAWN AREAS DISTURBED AND PAVED SURFACE COURSE FOR ROADWAYS AND PARKING. ALL PERMANENT SEEDING SHALL TAKE PLACE IMMEDIATELY FOLLOWING FINAL GRADING OPERATIONS IN ANY COMPLETED AREA WITHIN THE CONSTRUCTION LIMITS.
6. NO CONSTRUCTION WASTE MATERIALS WILL BE BURED OR BURNED ON SITE. ALL TRASH AND CONSTRUCTION DEBRIS WILL BE Hauled TO THE LOCAL MUNICIPAL DUMP AND DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL SOLID WASTE MANAGEMENT REGULATIONS.
7. THE CONTRACTOR SHALL PROVIDE SOLID WASTE COLLECTION DURING CONSTRUCTION TO MINIMIZE POLLUTION.
8. ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. THE OWNER WILL BE RESPONSIBLE FOR MAINTAINING THESE PROCEDURES DURING CONSTRUCTION.
9. ALL DISTURBED AREAS SHALL BE SEEDING AND STABILIZED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. IN THE ABSENCE OF SEEDING SPECIFICATIONS ALL DISTURBED AREAS SHALL BE SEEDING IN ACCORDANCE SECTION 250 AND 261 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION*. SEED MIXTURE SHALL BE CLASS 1 WITH MAXIMUM 1:
10. FERTILIZER SHALL BE APPLIED AT THE FOLLOWING RATES:
A. STARTER FERTILIZER 15-10-10, 10 LBS PER ACRE.
11. THE CONTRACTOR SHALL INSPECT THE EROSION CONTROL SYSTEM AND CORRECT OR ADD TO THE CONTROLS AS MAY BE NECESSARY. REFER TO THE PROJECT SWPPP FOR ADDITIONAL INFORMATION AND INSPECTION CHECKLIST.
12. TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED ON THE FIRST DAY OF CONSTRUCTION ACTIVITIES. ALL BARE SOIL SURFACES NOT IN MAJOR CONSTRUCTION AREAS SHALL BE TEMPORARILY SEEDING WITHIN 7 DAYS.
13. AREAS WITH SLOPES GREATER THAN 2% SHALL BE STABILIZED IN ACCORDANCE WITH ONE OF THE FOLLOWING TWO METHODS:
A. SEEDING
B. EROSION CONTROL BLANKET SHALL BE 100% STRAW WITH LIGHTWEIGHT PHOTOGRAPHADE POLYPROPYLENE TREADUP WITH BITCHES 18 INCHES ON CENTER. MATERIAL SHALL MEET FWAIA P-33 CATEGORIES, TYPE E.C. SHORT-TURN (UP TO 12 MONTHS) EQUAL TO 87% AS MANUFACTURED BY NORTH AMERICAN GREENS, EVANSHVILLE, INDIANA OR APPROVED EQUAL. EROSION CONTROL BLANKET SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
14. FOLLOWING INITIAL LAND DISTURBANCE OR DE-OBSTRUCTION, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN SEVEN (7) CALENDAR DAYS ON ALL PERIMETER DRES, SWALES, DITCHES, PERMETER SLOPES AND ALL SLOPES GREATER THAN 3% HORIZONTAL TO 1 VERTICAL. EMBANKMENTS OF POND BASINS, AND TRAPPS AND WITHIN 14 DAYS ON ALL OTHER DISTURBED AREAS. THESE REQUIREMENTS DO NOT APPLY TO THOSE AREAS SHOWN ON THE PLAN THAT ARE CURRENTLY USED FOR MATERIAL STORAGE OR FOR THOSE AREAS ON WHICH ACTUAL CONSTRUCTION ACTIVITIES ARE BEING PERFORMED.

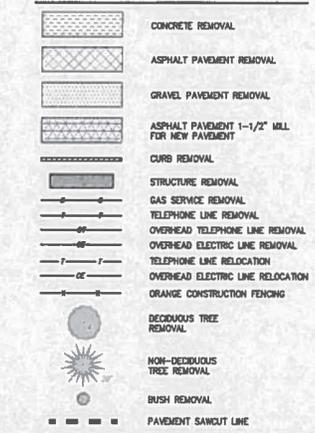
Layout Notes

- 1. ROLL CURB AND GUTTER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS INCLUDED IN THE PLANS. CONCRETE SHALL BE CLASS B.
2. ALL UTILITY CONDUITS SHALL BE SCHEDULE 40 PVC AND SHALL BE INSTALLED PRIOR TO CURB AND GUTTER AT A DEPTH OF 4 FEET BELOW TOP OF CURB AND A MINIMUM OF 1 FOOT BEYOND THE R.D.W. EACH SIDE OF CONDUIT SHALL BE INDICATED BY A 2" DIA. PAINTED RED FOR ELECTRIC OR YELLOW FOR GAS. VERIFY CONDUIT ROUTINGS WITH UTILITY PROVIDER PLANS PRIOR TO INSTALLATION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
3. CONCRETE FOR SIDEWALK CONSTRUCTION SHALL BE CLASS B.
4. ALL WALKS SHALL BE 4 INCHES IN THICKNESS, AND SHALL BE 5 FEET IN WIDTH UNLESS OTHERWISE INDICATED ON THE SITE ENGINEERING PLANS.
5. ALL WALKS SHALL BE HAND-GRADED AT 5 FOOT INTERVALS WITH A ONE INCH TOOL, AND EDGED WITH AN EDGING TOOL, AND BE PROVIDED WITH A LIGHT BROOM SURFACE FINISH.
6. JOINTS SHALL BE NOT LESS THAN 12 INCH DEEP. PRESTRESSED EXPANSION JOINTS SHALL BE USED AT INTERSECTIONS SIDEWALKS & JUNCTIONS W/ PAVEMENT.
7. ALL PATIOS SHALL HAVE A TRANSVERSE SLOPE AWAY FROM THE MOBILE HOME OF 1/4 INCH PER FOOT MAXIMUM AND 3/16 INCH PER FOOT MINIMUM.
8. CONTRACTORS SHALL NOTIFY THE ENGINEER 24 HRS PRIOR TO PAVING SIDEWALKS, CURB AND GUTTER AND PAVEMENTS FOR INSPECTION AND TESTING.
9. BUILDING DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR WITH THE OWNER.
10. ALL PARKING PAVEMENT SHALL BE 8" PORTLAND CEMENT CONCRETE ON 4" AGGREGATE BASE. DOT C-4, T & V

EXISTING LEGEND



DEMOLITION LEGEND



PROPOSED LEGEND



LEGENDS

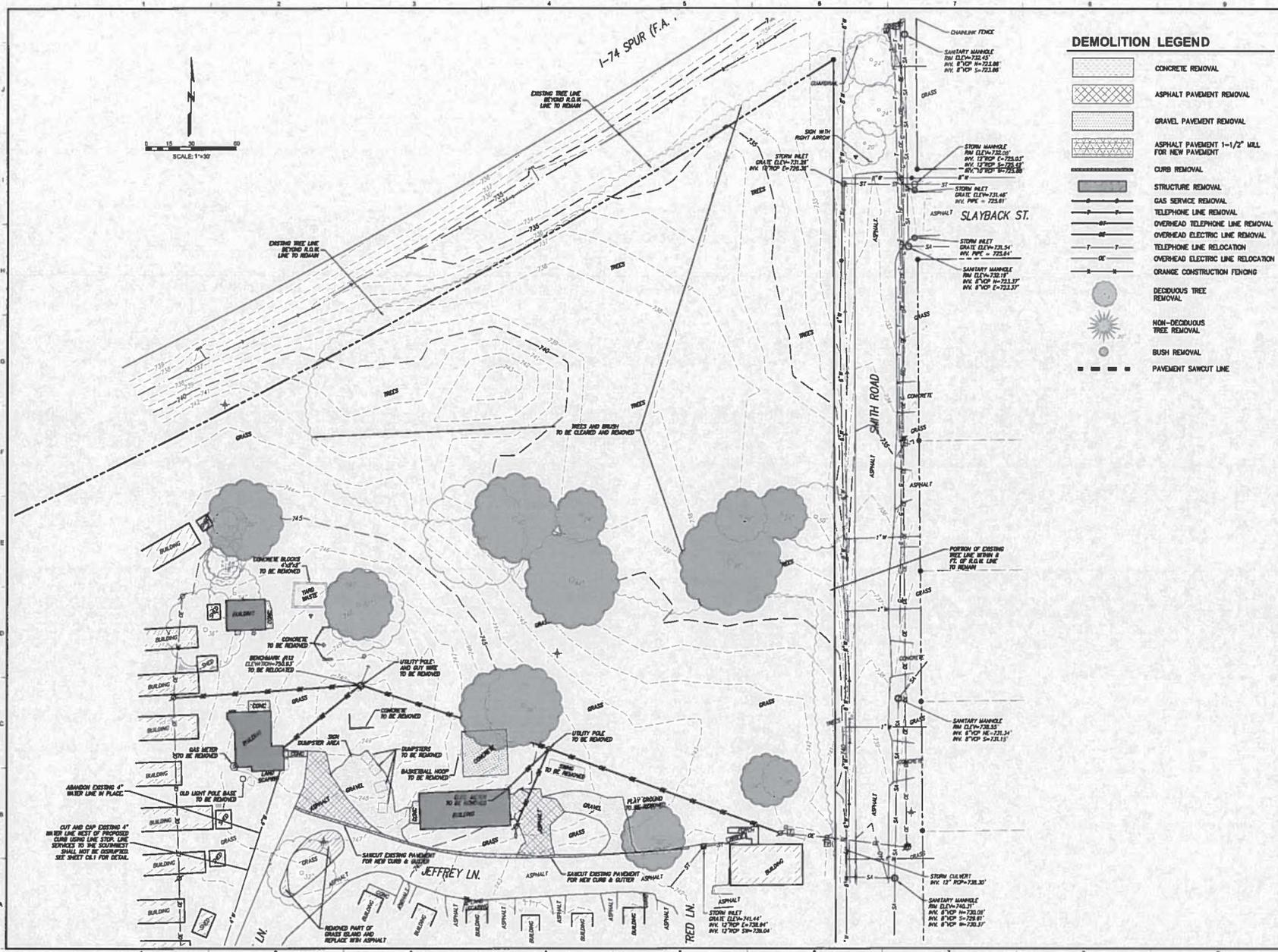
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Project Status NOT FOR CONSTRUCTION. Includes a table with columns for Date and Description, listing items like 1. 01/06/17 COUNTY REVIEW and 2. 06/02/17 PERMIT DRAWINGS.

WOODLAND ACRES STONETOWN MOBILE HOME PARK. Includes a table with columns for Date and Description, listing items like Date: 01/06/17, Desgn/Drawn: SDS, Reviewed: AFJ, and Field Book No.:

GENERAL NOTES AND LEGENDS. Includes a large 'C2.0' label and project number 0161332.01.



DEMOLITION LEGEND

- CONCRETE REMOVAL
- ASPHALT PAVEMENT REMOVAL
- GRAVEL PAVEMENT REMOVAL
- ASPHALT PAVEMENT 1-1/2" MILL FOR NEW PAVEMENT
- CURB REMOVAL
- STRUCTURE REMOVAL
- GAS SERVICE REMOVAL
- TELEPHONE LINE REMOVAL
- OVERHEAD TELEPHONE LINE REMOVAL
- OVERHEAD ELECTRIC LINE REMOVAL
- TELEPHONE LINE RELOCATION
- OVERHEAD ELECTRIC LINE RELOCATION
- ORANGE CONSTRUCTION FENCING
- DECIDUOUS TREE REMOVAL
- NON-DECIDUOUS TREE REMOVAL
- BUSH REMOVAL
- PAVEMENT SAWCUT LINE



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#	Date:	Description:
1	01/28/17	COUNTY REVIEW
2	06/29/17	PERMIT DRAWINGS

Project Status
NOT FOR CONSTRUCTION

PROJECT
WOODLANT ACRES
STONETOWN MOBILE HOME PARK

CHAMPAIGN COUNTY
URBANA, ILLINOIS

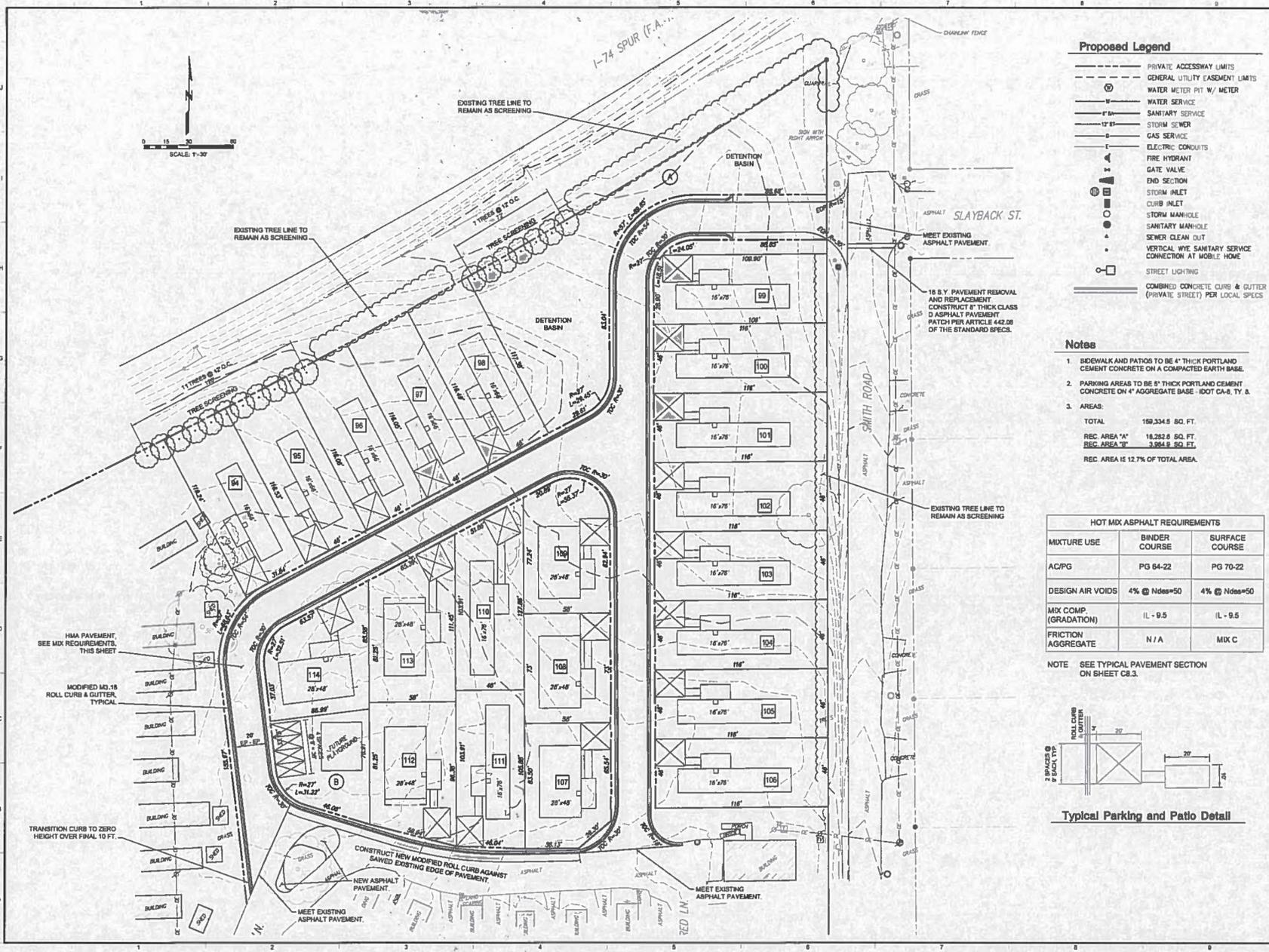
Date: 01/06/17
Design/Drawn: SDS
Reviewed: AFJ
Field Book No.:
SHEET TITLE:

EXISTING TOPOGRAPHY AND DEMOLITION PLAN

SHEET NUMBER

C3.0

Project No.: 0181332.01



Proposed Legend

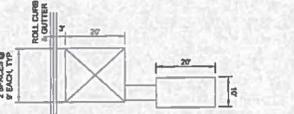
- PRIVATE ACCESSWAY LIMITS
- GENERAL UTILITY EASEMENT LIMITS
- ⊙ WATER METER PIT W/ METER
- WATER SERVICE
- SANITARY SERVICE
- STORM SEWER
- GAS SERVICE
- ELECTRIC CONDUITS
- ⊕ FIRE HYDRANT
- ⊕ GATE VALVE
- END SECTION
- ⊕ STORM INLET
- ⊕ CURB INLET
- ⊕ STORM MANHOLE
- ⊕ SANITARY MANHOLE
- ⊕ SEWER CLEAN OUT
- ⊕ VERTICAL WYE SANITARY SERVICE CONNECTION AT MOBILE HOME
- ⊕ STREET LIGHTING
- COMBINED CONCRETE CURB & GUTTER (PRIVATE STREET) PER LOCAL SPECS

Notes

1. SIDEWALK AND PATIOS TO BE 4" THICK PORTLAND CEMENT CONCRETE ON A COMPACTED EARTH BASE.
2. PARKING AREAS TO BE 5" THICK PORTLAND CEMENT CONCRETE ON 4" AGGREGATE BASE - DOT CA-6, TV. 8.
3. AREAS:
 - TOTAL 159,334.5 SQ. FT.
 - REC. AREA "A" 18,282.8 SQ. FT.
 - REC. AREA "B" 3,884.9 SQ. FT.
 - REC. AREA IS 12.7% OF TOTAL AREA.

HOT MIX ASPHALT REQUIREMENTS		
MIXTURE USE	BINDER COURSE	SURFACE COURSE
AC/PG	PG 64-22	PG 70-22
DESIGN AIR VOIDS	4% @ Nodes=50	4% @ Nodes=50
MIX COMP (GRADATION)	IL - 9.5	IL - 9.5
FRICTION AGGREGATE	N / A	MIX C

NOTE SEE TYPICAL PAVEMENT SECTION ON SHEET C8.3.



Typical Parking and Patio Detail



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#	Date	Description
1.	11/27/2015	COUNTY REVIEW
2.	06/16/2017	PERMIT DRAWINGS

Project Status
NOT FOR CONSTRUCTION

PROJECT:
WOODLAND ACRES
STONETOWN MOBILE HOME PARK

CHAMPAIGN COUNTY
URBANA, ILLINOIS

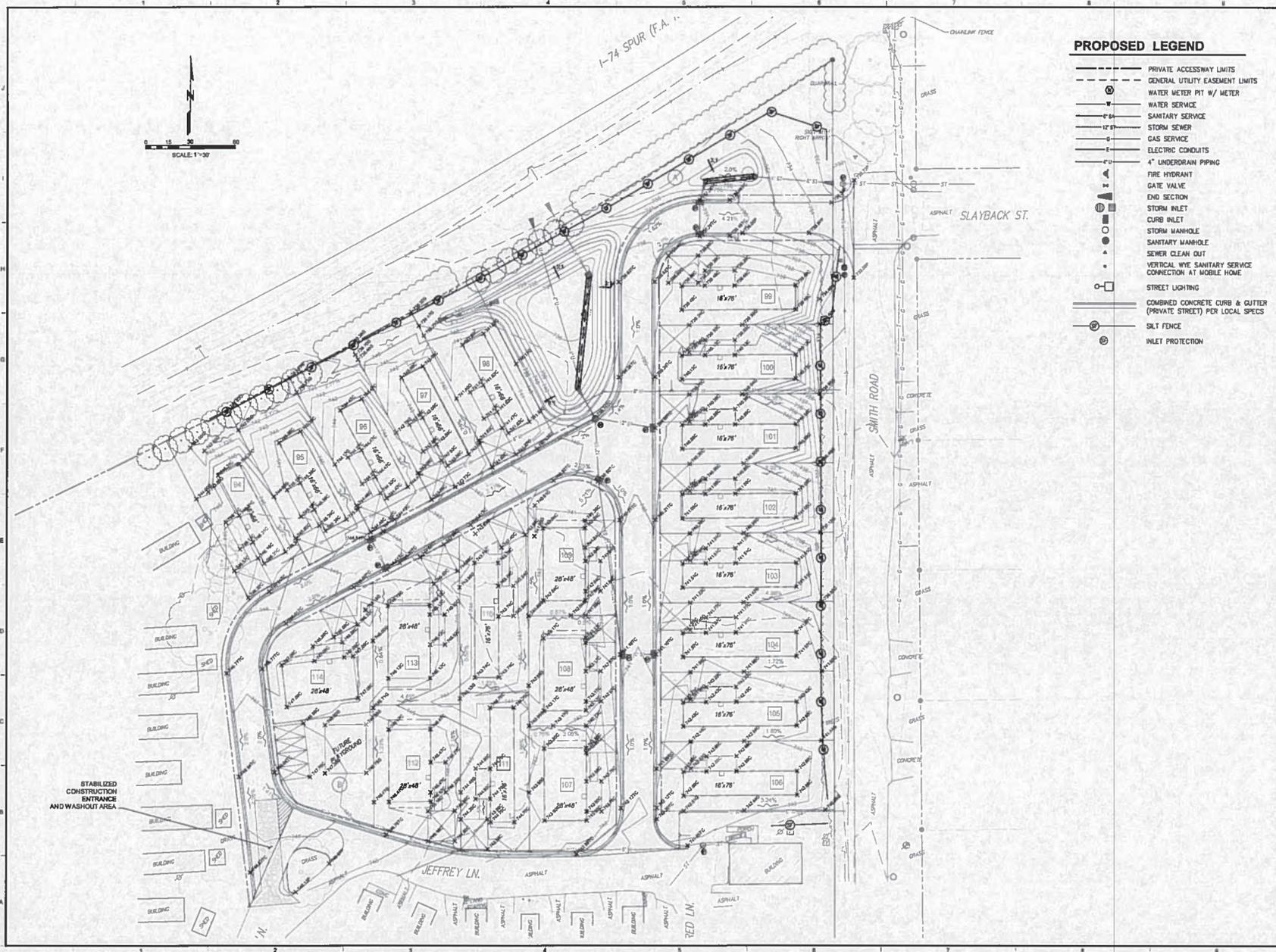
Date:	01/08/17
Design/Drawn:	SDS
Reviewed:	AFJ
Field Book No.:	

LAYOUT PLAN

SHEET NUMBER

C4.0

Project No.: 0161332.01



PROPOSED LEGEND

- PRIVATE ACCESSWAY LIMITS
- GENERAL UTILITY EASEMENT LIMITS
- ⊙ WATER METER PIT W/ METER
- WATER SERVICE
- SANITARY SERVICE
- 12" ST. STORM SEWER
- GAS SERVICE
- ELECTRIC CONDUITS
- 4" UNDERDRAIN PIPING
- FIRE HYDRANT
- GATE VALVE
- END SECTION
- STORM INLET
- CURB INLET
- STORM MANHOLE
- SANITARY MANHOLE
- SEWER CLEAN OUT
- VERTICAL WYE SANITARY SERVICE CONNECTION AT MOBILE HOME
- STREET LIGHTING
- COMBINED CONCRETE CURB & GUTTER (PRIVATE STREET) PER LOCAL SPECS
- SILT FENCE
- ⊙ INLET PROTECTION



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#	Date	Description
1	01/25/17	COUNTY REVIEW
2	06/14/2017	PERMIT DRAWINGS

Project Status
NOT FOR CONSTRUCTION

PROJECT
WOODLAND ACRES
STONETOWN MOBILE HOME PARK

CHAMPAIGN COUNTY
URBANA, ILLINOIS

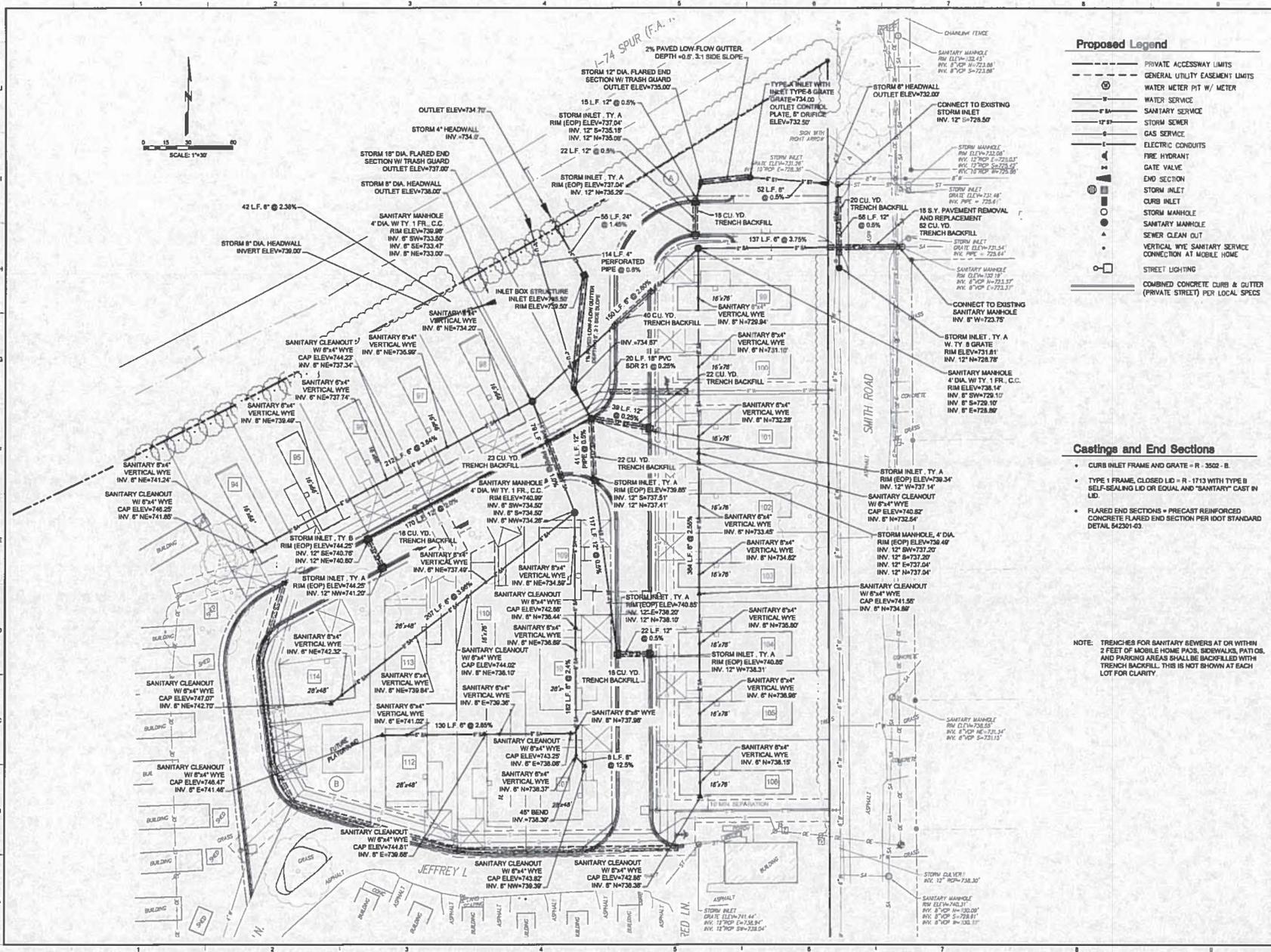
Date:	01/09/17
Design/Drawn:	SDS
Reviewed:	AFJ
Field Book No.:	

GRADING AND EROSION CONTROL PLAN

SHEET NUMBER

C5.0

Project No. 0161332.01



- ### Proposed Legend
- PRIVATE ACCESSWAY LIMITS
 - GENERAL UTILITY EASEMENT LIMITS
 - WATER METER P/T W/ METER
 - WATER SERVICE
 - SANITARY SERVICE
 - STORM SEWER
 - GAS SERVICE
 - ELECTRIC CONDUITS
 - FIRE HYDRANT
 - END SECTION
 - STORM INLET
 - CURB INLET
 - STORM MANHOLE
 - SANITARY MANHOLE
 - SEWER CLEAN OUT
 - VERTICAL WYE SANITARY SERVICE CONNECTION AT MOBILE HOME
 - STREET LIGHTING
 - COMBINED CONCRETE CURB & GUTTER (PRIVATE STREET) PER LOCAL SPECS

- ### Castings and End Sections
- CURB INLET FRAME AND GRATE - R - 3502 - B
 - TYPE 1 FRAME, CLOSED LID - R - 1713 WITH TYPE B SELF-SEALING LID OR EQUAL AND "SANITARY" CAST IN LID.
 - FLARED END SECTIONS = PRECAST REINFORCED CONCRETE FLARED END SECTION PER IDOT STANDARD DETAIL S42001.03.

NOTE: TRENCHES FOR SANITARY SEWERS AT OR WITHIN 2 FEET OF MOBILE HOME PADS, SIDEWALKS, PATIOS, AND PARKING AREAS SHALL BE BACKFILLED WITH TRENCH BACKFILL. THIS IS NOT SHOWN AT EACH LOT FOR CLARITY.

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REV.	DATE	DESCRIPTION
1	06/29/17	FINAL COUNTY REVIEW
2	06/29/17	PERMIT DRAWINGS

Project Status
 NOT FOR CONSTRUCTION

PROJECT:
 WOODLAND ACRES
 STONETOWN MOBILE HOME PARK

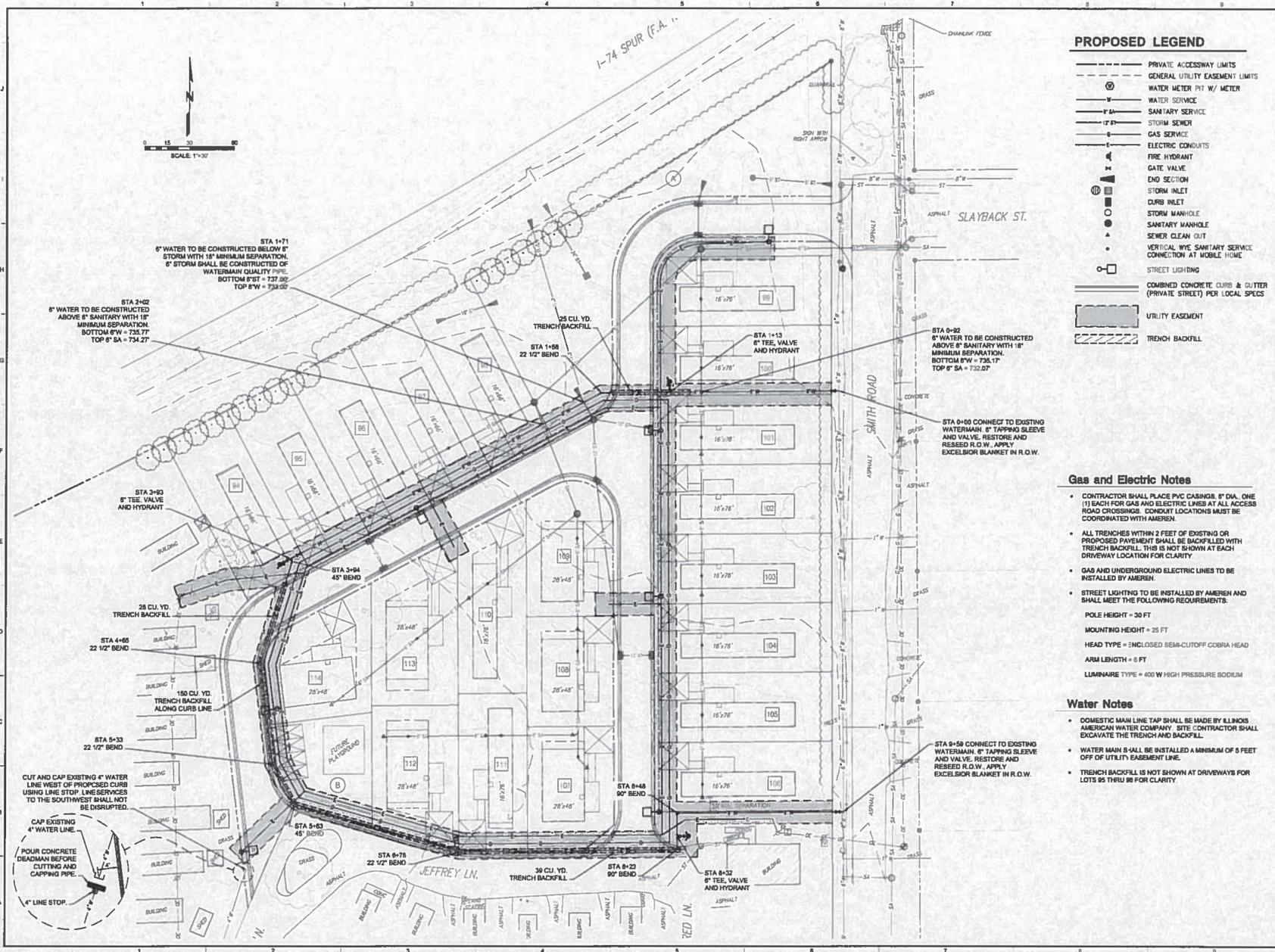
CHAMPAIGN COUNTY
 URBANA, ILLINOIS

Date:	01/09/17
Design/Drawn:	SDS
Reviewed:	AFJ
Field Book No.:	

UTILITY PLAN
SANITARY AND STORM

C6.0

Project No.: 0181332.01



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#	Date	Description
1	02/20/17	COUNTY REVIEW
2	05/10/17	PERMIT DRAWINGS

Project Status
NOT FOR CONSTRUCTION

PROJECT:
WOODLAND ACRES
STONETOWN MOBILE HOME PARK

CHAMPAIGN COUNTY
URBANA, ILLINOIS

Date: 01/06/17

Design/Drawn: SDS

Reviewed: APJ

Field Book No.:

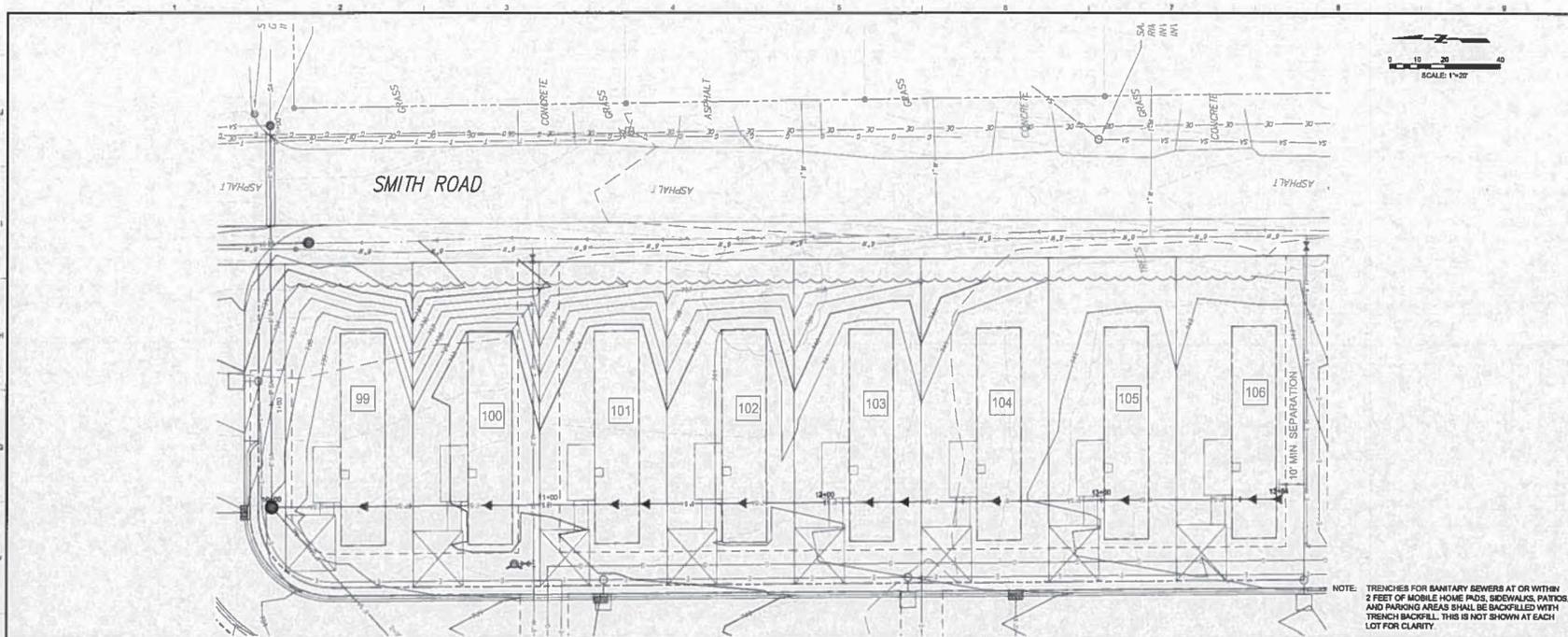
SHEET TITLE:

UTILITY PLAN
WATER, GAS, AND ELECTRIC

SHEET NUMBER:

C6.1

Project No.: 0161332.01



NOTE: TRENCHES FOR SANITARY SEWERS AT OR WITHIN 3 FEET OF MOBILE HOME PATIO, SIDEWALKS, PARKING, AND PARKING AREAS SHALL BE BACKFILLED WITH TRENCH BACKFILL. THIS IS NOT SHOWN AT EACH LOT FOR CLARITY.



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REV.	DATE	DESCRIPTION
1	01/20/17	COUNTY REVIEW
2	06/16/17	PERMIT DRAWINGS

Project Status
 NOT FOR CONSTRUCTION

PROJECT:
 WOODLAND ACRES
 STONETOWN MOBILE HOME PARK

CHAMPAIGN COUNTY
 URBANA, ILLINOIS

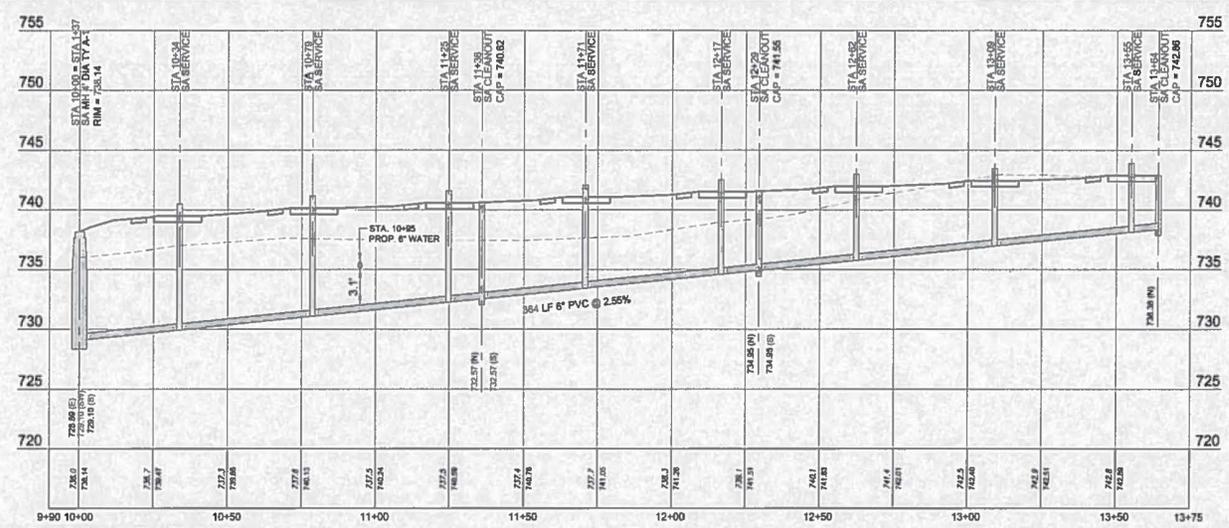
Date:	01/06/17
Design/Drawn:	SDS
Reviewed:	AFJ
Field Book No.:	

**SANITARY SEWER
 PLAN - PROFILE**

SHEET NUMBER

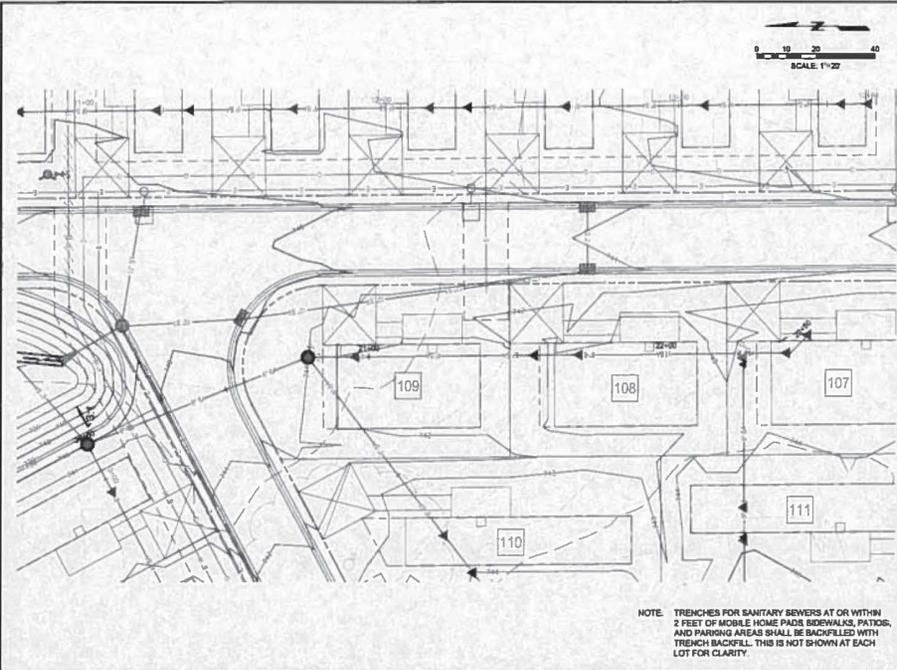
C7.1

Project No.: 0161332 01

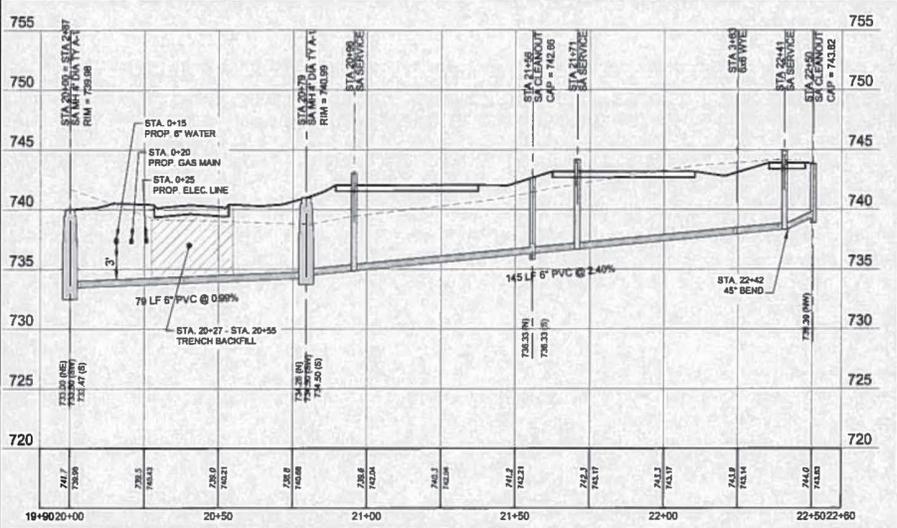
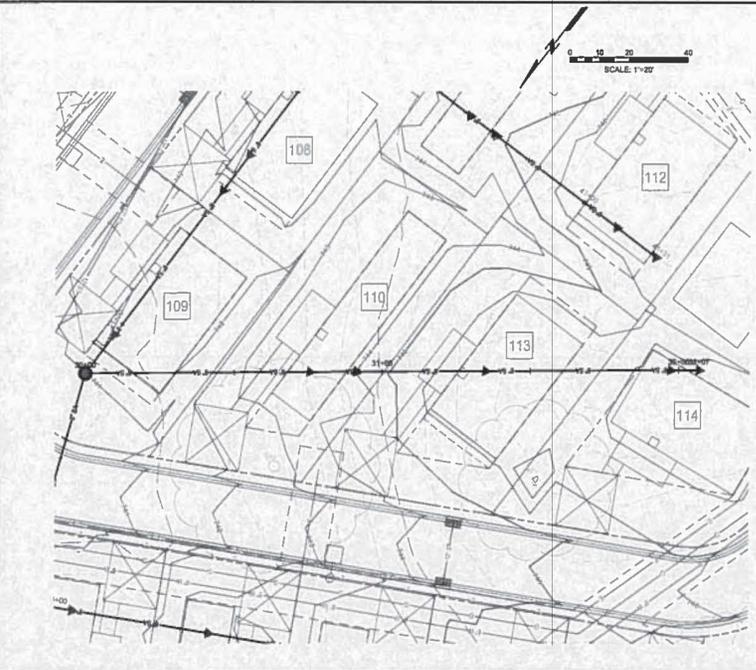


1 SANITARY SEWER PLAN AND PROFILE (RUN #2)
 Scale:

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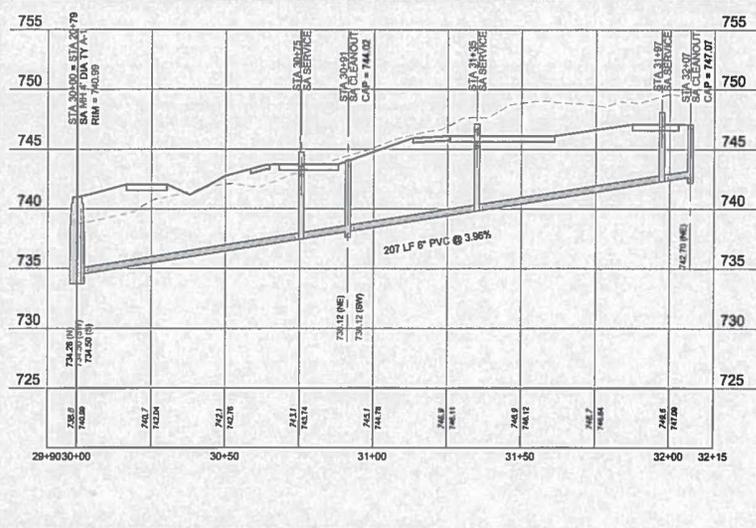


NOTE: TRENCHES FOR SANITARY SEWERS AT OR WITHIN 2 FEET OF MOBILE HOME PADS, SIDEWALKS, PATIOS, AND PARKING AREAS SHALL BE BACKFILLED WITH TRENCH BACKFILL. THIS IS NOT SHOWN AT EACH LOT FOR CLARITY.



1 SANITARY SEWER PLAN AND PROFILE (RUN #3)

Scale:



2 SANITARY SEWER PLAN AND PROFILE (RUN #4)

Scale:



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NO. Date: Description:
1. 6/27/2017 COUNTY REVIEW
2. 6/16/2017 PERMIT DRAWINGS

Project Status
NOT FOR CONSTRUCTION

PROJECT:
WOODLAND ACRES
STONETOWN MOBILE HOME PARK

CHAMPAIGN COUNTY
URBANA, ILLINOIS

Date: 01/09/17
Design/Drawn: SDS
Reviewed: AFJ
Field Book No.:

**SANITARY SEWER
PLAN - PROFILE**

SHEET NUMBER

C7.2

Project No. 0181332.01



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NO.	DATE	DESCRIPTION
1.	08/15/2017	COUNTY REVIEW
2.	08/15/2017	PERMIT DRAWING

Project Status
NOT FOR CONSTRUCTION

PROJECT
WOODLAND ACRES
STONETOWN MOBILE HOME PARK

CHAMPAIGN COUNTY
URBANA, ILLINOIS

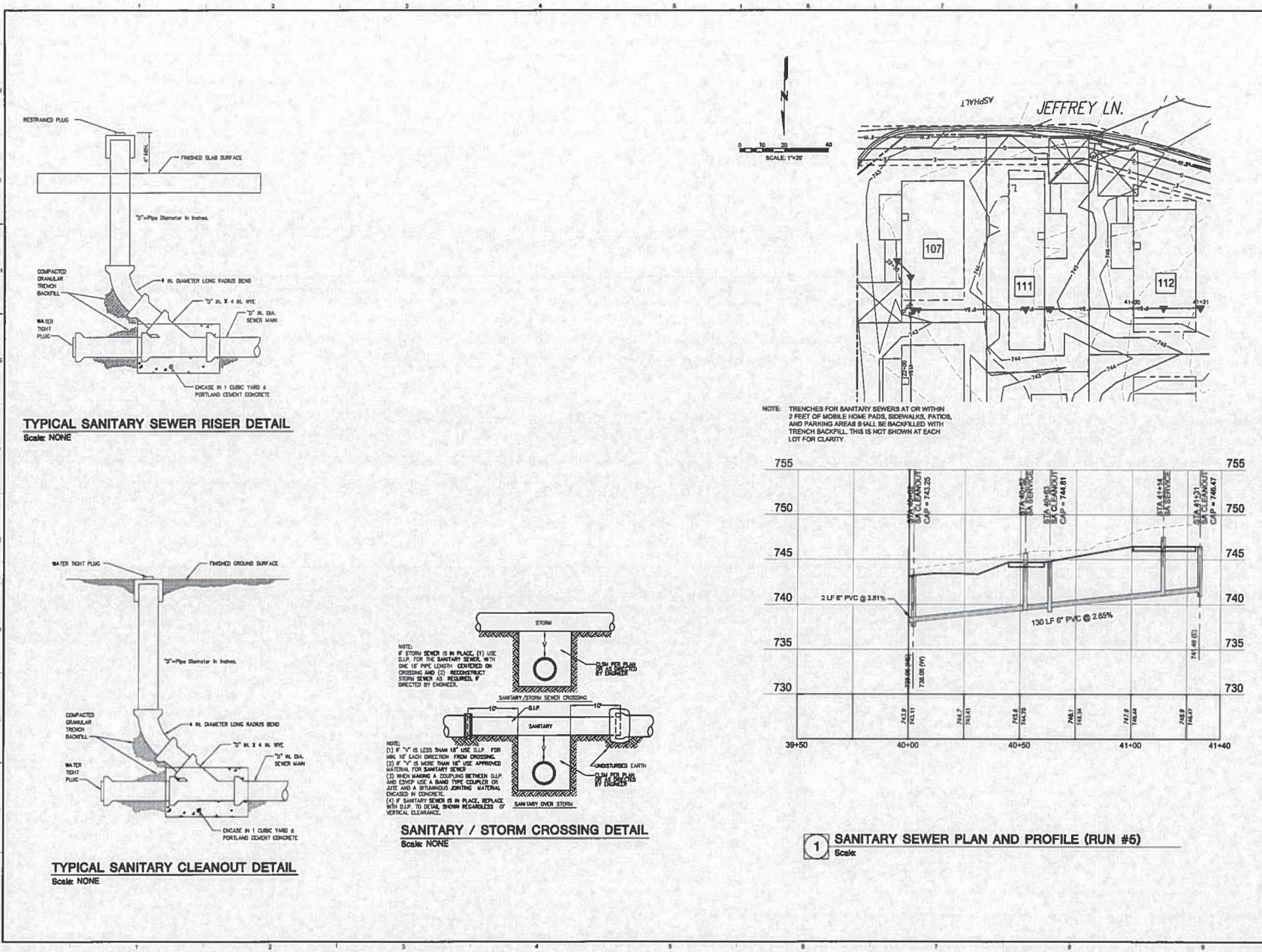
Date:	01/09/17
Design/Drawn:	SDS
Reviewed:	AFJ
Field Book No.:	

SANITARY SEWER PLAN - PROFILE

SHEET NUMBER

C7.3

Project No.: 0181332 01





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DATE	BY	DESCRIPTION
11/02/2017	COUNTY REVIEW	
06/16/2017	PERMIT DRAWINGS	

Project Status
NOT FOR CONSTRUCTION

CHAMPAIGN COUNTY
URBANA, ILLINOIS

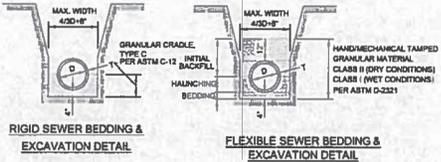
Date: 01/06/17
Design/Drawn: SDS
Reviewed: AFJ
Field Book No.:

STANDARD SANITARY SEWER DETAILS

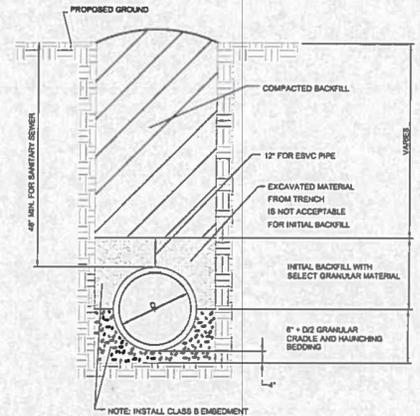
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C8.0

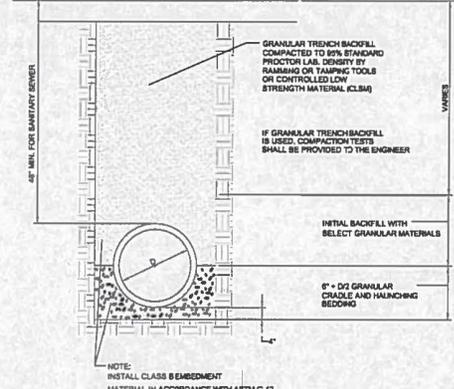
Project No.: 0161332.01



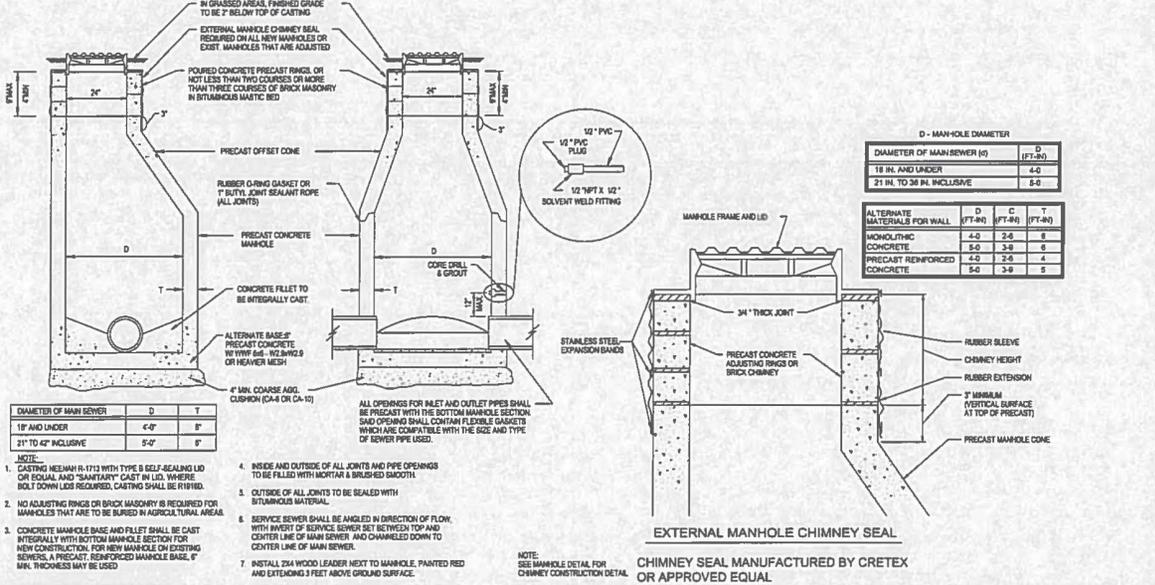
3 PIPE BEDDING & EXCAVATION DETAIL



2 SEWER TRENCH DETAIL



1 SEWER TRENCH UNDER PAVED AREAS



DIAMETER OF MAIN SEWER	D	T
18" AND UNDER	4'-0"	8"
21" TO 42" INCLUSIVE	5'-0"	8"

DIAMETER OF MAIN SEWER (D)	D (FT-IN)
18 IN. AND UNDER	4'-0"
21 IN. TO 36 IN. INCLUSIVE	5'-0"

ALTERNATE MATERIALS FOR WALL	D (FT-IN)	C (FT-IN)	T (FT-IN)
MONOLITHIC CONCRETE	4'-0"	3'-6"	8"
PRECAST REINFORCED CONCRETE	4'-0"	2'-6"	4"
	5'-0"	3'-6"	8"

- NOTE:**
- CASTING NEWMAN R-1713 WITH TYPE B SELF-SEALING LID OR EQUAL AND "SANITARY" CAST IN LID. WHERE BOLT DOWN LIDS REQUIRED, CASTING SHALL BE FINISHED.
 - NO ADJUSTING RINGS OR BRICK MASONRY IS REQUIRED FOR MANHOLES THAT ARE TO BE BURIED IN AGRICULTURAL AREAS.
 - CONCRETE MANHOLE BASE AND FILLET SHALL BE CAST INTEGRALLY WITH BOTTOM MANHOLE SECTION FOR NEW CONSTRUCTION. FOR NEW MANHOLE ON EXISTING SEWERS, A PRECAST, REINFORCED MANHOLE BASE, 6" MIN. THICKNESS MAY BE USED.
 - INSIDE AND OUTSIDE OF ALL JOINTS AND PIPE OPENINGS TO BE FILLED WITH MORTAR & BRUSHED SMOOTH.
 - OUTSIDE OF ALL JOINTS TO BE SEALED WITH BITUMINOUS MATERIAL.
 - SERVICE SEWER SHALL BE ANGLED IN DIRECTION OF FLOW, WITH INVERT OF SERVICE SEWER SET BETWEEN TOP AND CENTER LINE OF MAIN SEWER, AND CHAMFERED DOWN TO CENTER LINE OF MAIN SEWER.
 - INSTALL 2x4 WOOD LEADER NEXT TO MANHOLE, PAINTED RED AND EXTENDING 3 FEET ABOVE GROUND SURFACE.

NOTE: SEE MANHOLE DETAIL FOR CHIMNEY CONSTRUCTION DETAIL.

EXTERNAL MANHOLE CHIMNEY SEAL
CHIMNEY SEAL MANUFACTURED BY CRETEX OR APPROVED EQUAL.

4 SEWER MANHOLE

Scale:

Scale:



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DATE: Description:
1. QUANTITY QUANTITY REVIEW
2. QUANTITY PERMIT DRAWINGS

Project Status
NOT FOR CONSTRUCTION

PROJECT:
WOODLAND ACRES
STONETOWN MOBILE HOME PARK

CHAMPAIGN COUNTY
URBANA, ILLINOIS

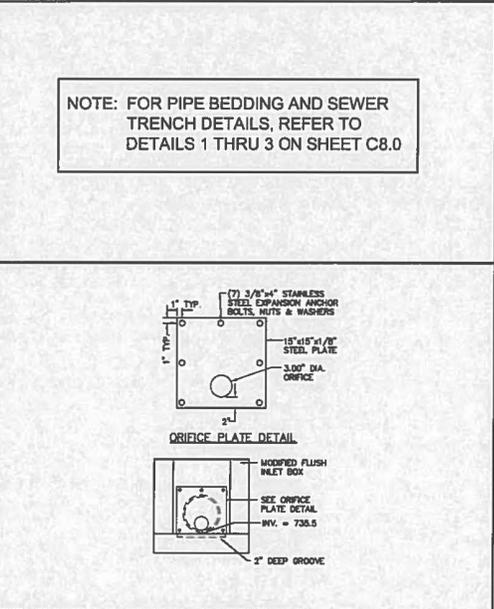
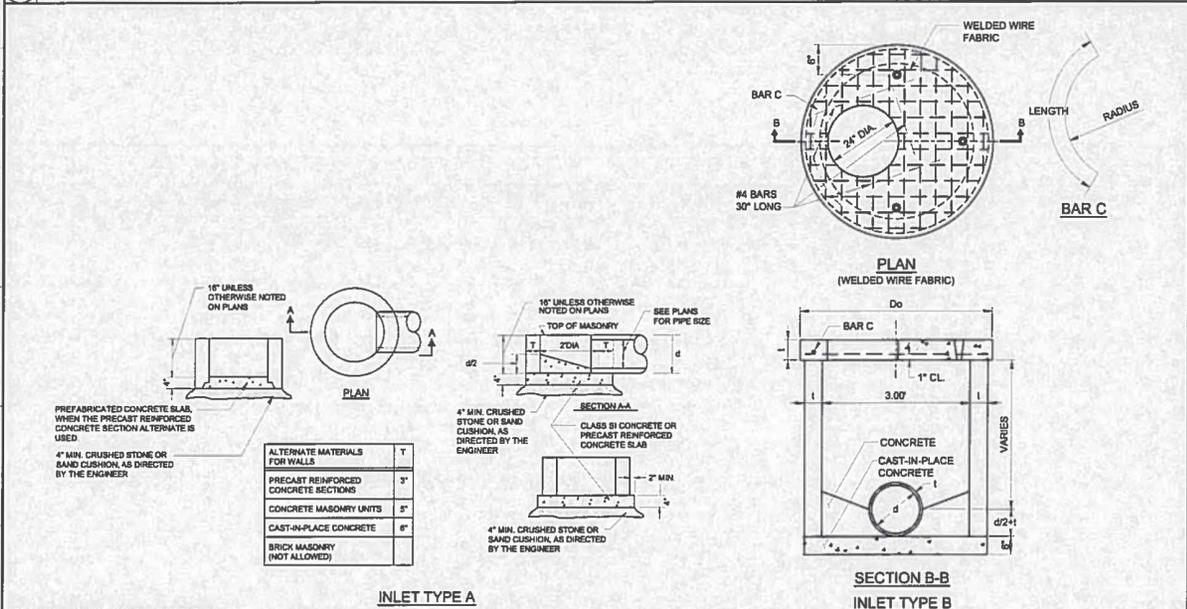
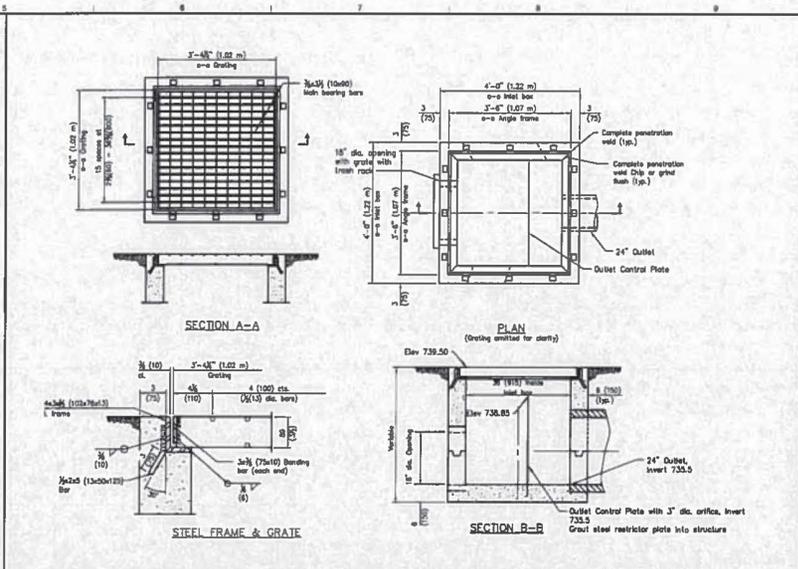
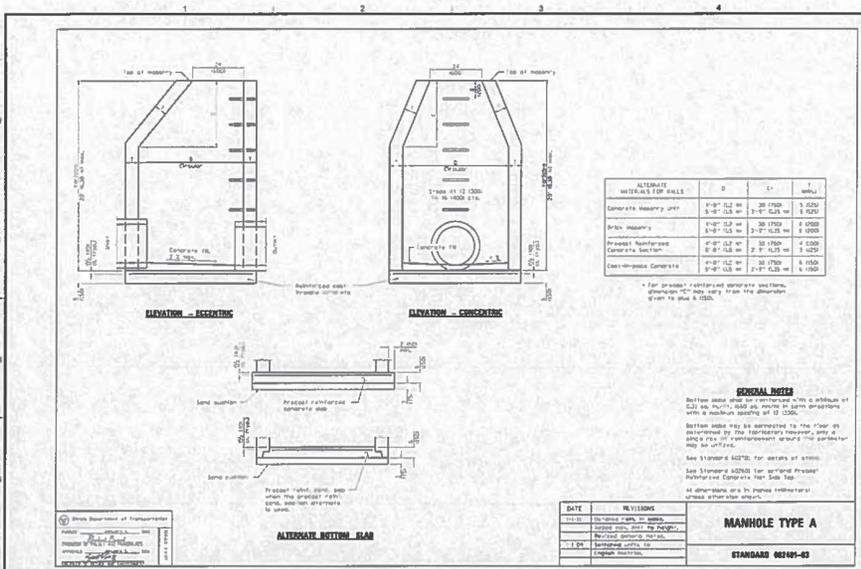
Date: 01/06/17
Design/Drawn: SDS
Reviewed: AFJ
Field Book No.

STANDARD STORM SEWER DETAILS

SHEET NUMBER

C8.1

Project No: 0161332.01



Project: 17-0001 (17) 0161332.01 - Standard Storm Sewer Details - 01/06/17, Rev. 01-01-17 (17) 17/01/17 (17) 17/01/17

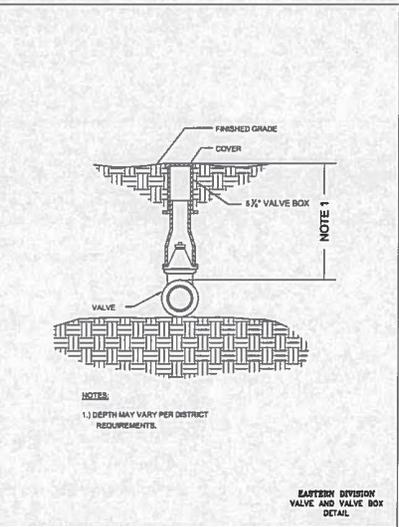
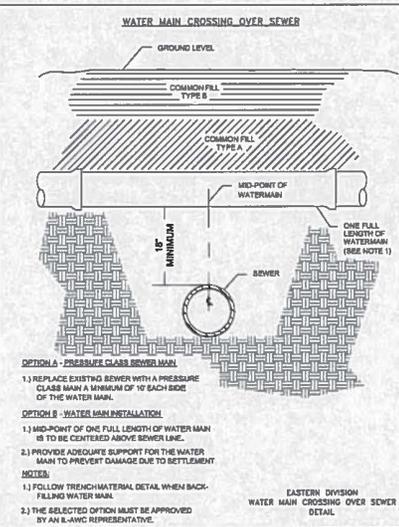
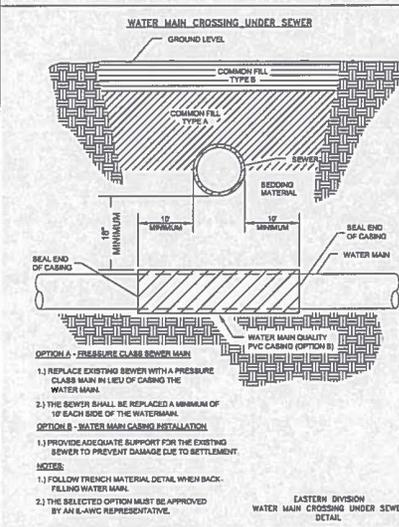
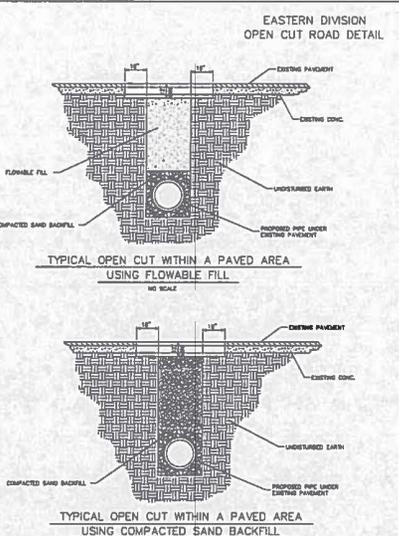
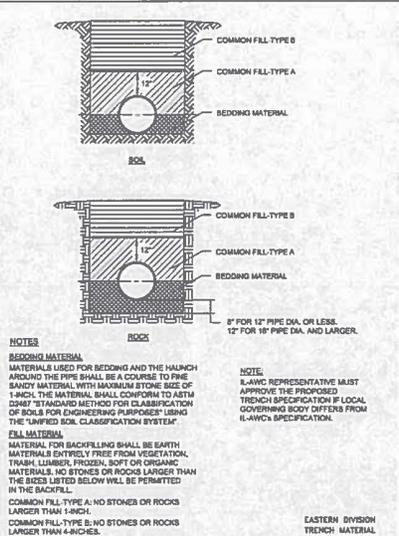
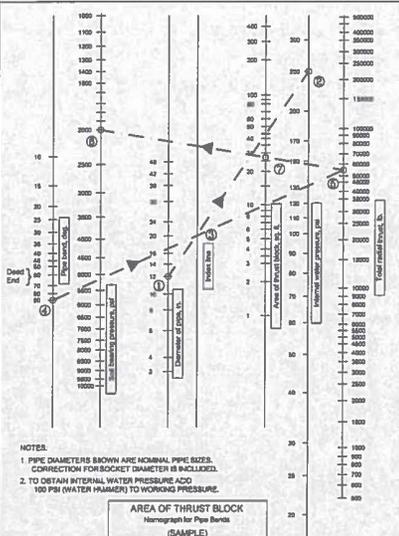
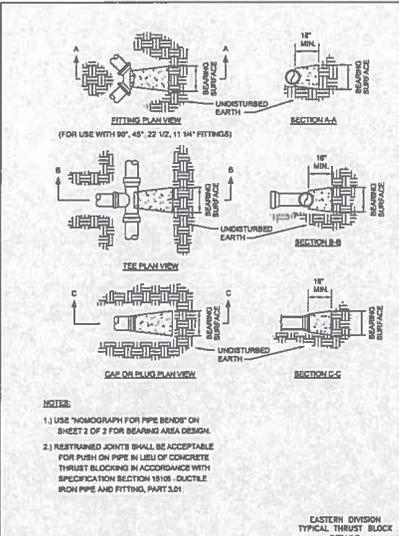


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DATE:	DESCRIPTION:
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2. 08/16/2017	PERMIT DRAWINGS



Project Status
NOT FOR CONSTRUCTION

PROJECT:
WOODLAND ACRES
STONETOWN MOBILE HOME PARK

CHAMPAIGN COUNTY
URBANA, ILLINOIS

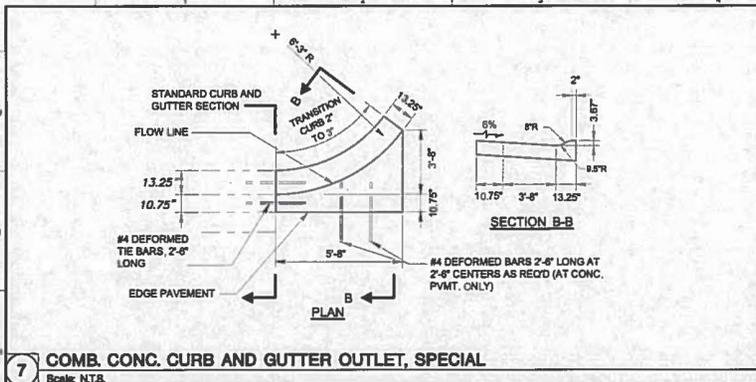
Date:	01/09/17
Design/Drawn:	SDS
Reviewed:	AFJ
Field Book No.:	

STANDARD WATER MAIN DETAILS

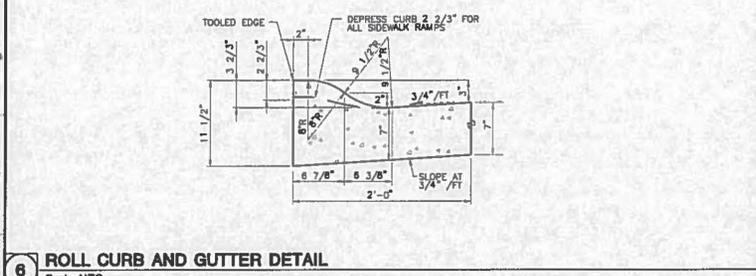
SHEET NUMBER

C8.2

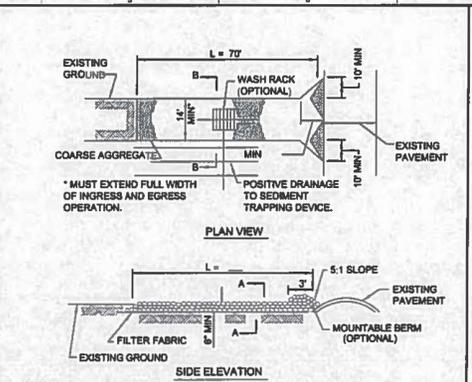
Project No. 0161332.01



7 COMB. CONC. CURB AND GUTTER OUTLET, SPECIAL
Scale: N.T.S.



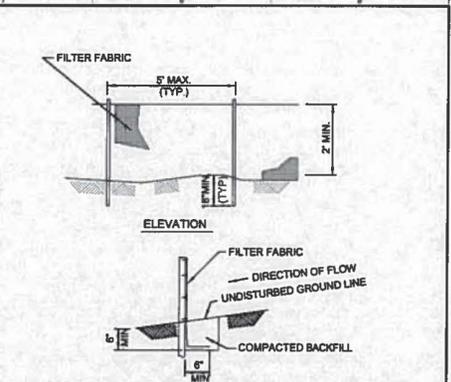
8 ROLL CURB AND GUTTER DETAIL
Scale: N.T.S.



3 STABILIZED CONSTRUCTION ENTRANCE DETAIL
Scale:

NOTES

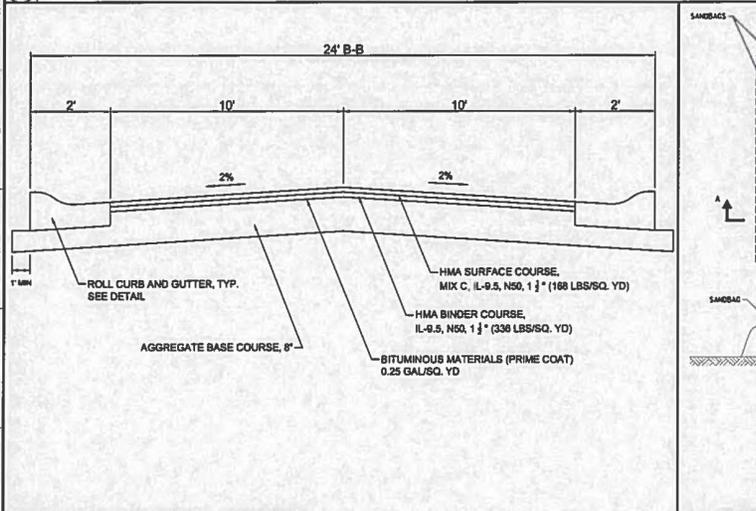
1. FILTER FABRIC SHALL MEET THE REQUIREMENTS OF MATERIAL SPECIFICATION 592 GEOTEXTILE, TABLE 1 OR 2, CLASS I, OR IV AND SHALL BE PLACED OVER THE CLEARED AREA PRIOR TO THE PLACING OF ROCK.
2. ROCK OR RECLAIMED CONCRETE SHALL MEET ONE OF THE FOLLOWING: DOT COARSE AGGREGATE GRADATION (CA-1, CA-2, CA-3 OR CA-4) AND BE PLACED ACCORDING TO CONSTRUCTION SPECIFICATION 25 ROCKFILL USING PLACEMENT METHOD 1 AND CLASS III COMPACTION.
3. ANY DRAINAGE FACILITIES REQUIRED BECAUSE OF WASHING SHALL BE CONSTRUCTED ACCORDING TO MANUFACTURERS SPECIFICATIONS.
4. IF WASH RACKS ARE USED THEY SHALL BE INSTALLED ACCORDING TO THE MANUFACTURERS SPECIFICATIONS.



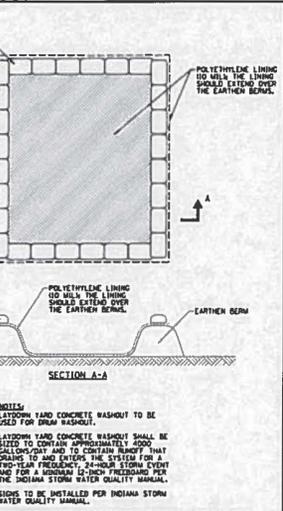
2 PERIMETER BARRIER SILT FENCE DETAIL
Scale:

NOTES

1. TEMPORARY SEDIMENT FENCE SHALL BE INSTALLED PRIOR TO ANY GRADING WORK IN THE AREA TO BE PROTECTED. THEY SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND REMOVED IN CONJUNCTION WITH THE FINAL GRADING AND SITE STABILIZATION.
2. FILTER FABRIC SHALL MEET THE REQUIREMENTS OF MATERIAL SPECIFICATION 592 GEOTEXTILE TABLE 1 OR 2, CLASS I WITH EQUIVALENT OPENING SIZE OF AT LEAST 30 FOR NONWOVEN AND 50 FOR WOVEN.
3. FENCE POSTS SHALL BE EITHER STANDARD STEEL POST OR WOOD POST WITH A MINIMUM CROSS-SECTIONAL AREA OF 3.0 SQ. IN.



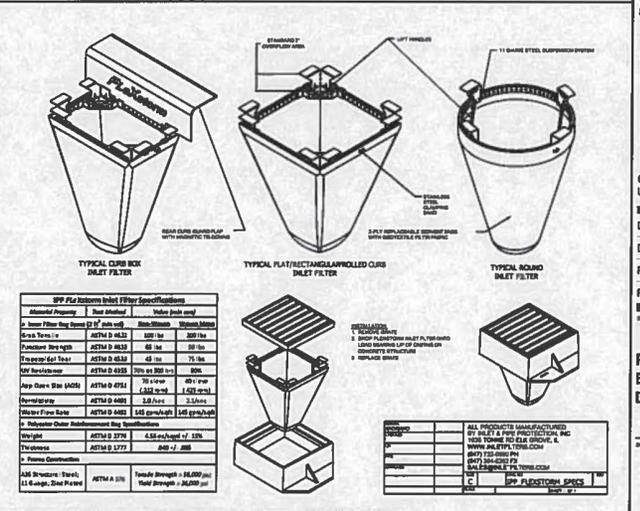
6 TYPICAL PAVEMENT SECTION
Scale: N.T.S.



4 CONCRETE WASHOUT AREA DETAIL
Scale:

NOTES

1. LAYDOWN SAND CONCRETE WASHOUT TO BE USED FOR BRUSH WASHOUT.
2. LAYDOWN SAND CONCRETE WASHOUT SHALL BE SIZED TO CONTAIN APPROXIMATELY 4000 GALLONS/DAY AND TO CONTAIN READY THAT DRAIN TO AND ENTER THE STEVEN FOR A TWO-YEAR FREQUENCY, 24-HOUR STORM EVENT AND FOR A MODERN 10-INCH FREQUENCY FOR THE INDIANA STORM WATER QUALITY MANUAL.
3. SIZING TO BE INSTALLED PER INDIANA STORM WATER QUALITY MANUAL.



1 IPP FLEXSTORM INLET FILTER PROTECTION
Scale:

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Rev. 1
1. 8/202017 COUNTY REVIEW
2. 08/16/2017 PERMIT DRAWINGS

Project Status
NOT FOR CONSTRUCTION

WOODLAND ACRES
STONETOWN MOBILE HOME PARK

CHAMPAIGN COUNTY
URBANA, ILLINOIS

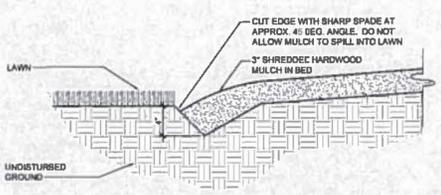
Date: 01/09/17
Design/Drawn: SDS
Reviewed: AFJ
Field Book No.:
SHEET TITLE:

PAVEMENT AND EROSION CONTROL DETAILS

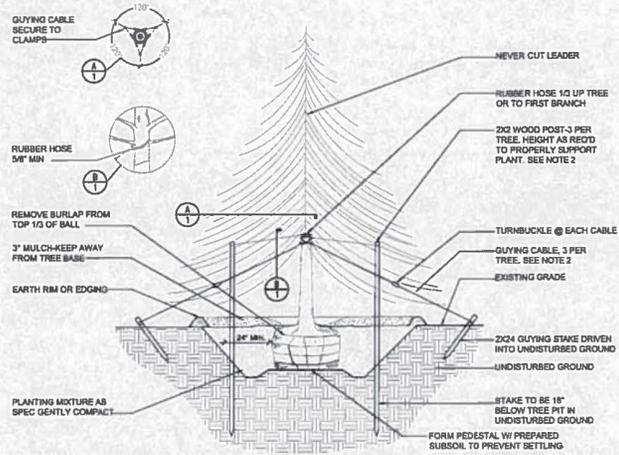
SHEET NUMBER

C8.4

Project No.: 0181332.01



2 Spade Cut Edging Detail
Scale: Not To Scale



- NOTES:**
1. TREE SHALL BE PLANTED SO ROOT FLARE IS 2" ABOVE ADJACENT FINISH GRADE.
 2. STAKE TREES UNDER 8' TALL. GUY TREES 8' TALL AND OVER.

3 Spruce Tree Planting Detail
Scale: Not To Scale

SCREEN PLANTING NOTES:

1. WHERE SHOWN IN THE PLANS, BOUNDARY AREAS SHALL BE LINED WITH TREE SCREENINGS AS FOLLOWS:
TREE TYPE = BLACK HILLS SPRUCE (PICEA GLAUCA)
HEIGHT AT PLANTING = 6 FT.
SPACING = 12 FT. ON CENTER

GENERAL:

1. (SITE CONDITIONS) - THE CONTRACTOR SHALL FIELD CHECK AND VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES BETWEEN CONSTRUCTION DOCUMENTS AND ACTUAL FIELD CONDITIONS TO THE OWNER'S REPRESENTATIVE BEFORE PROCEEDING WITH WORK.
2. (DETAILS) - SEE PLANTING DETAILS ON THIS SHEET. ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSIDERED TO APPLY TO SIMILAR CONDITIONS ELSEWHERE.
3. (WARRANTY/REPLACEMENTS) - PROVIDE A ONE YEAR WRITTEN WARRANTY ON ALL PLANT MATERIAL. WARRANTY INCLUDES REPLACING ANY PLANT WHICH IS 25% OR MORE DEAD, DISEASED, OR DISFIGURED ONCE DURING THE WARRANTY PERIOD. PLANTS THAT ARE IDENTIFIED AS BEING REPLACED SHALL BE REMOVED IMMEDIATELY FROM THE SITE BY THE CONTRACTOR. REPLACEMENT PLANTS SHALL BE INSTALLED AS SOON AS THEY ARE AVAILABLE, PROVIDED THE WEATHER AND SEASON ARE CORRECT FOR INSTALLATION. UPON NOTICE TO REPLACE PLANT MATERIAL, THE CONTRACTOR SHALL PROVIDE THE OWNER A SCHEDULE FOR THE REPLACEMENTS TO TAKE PLACE. SHOULD THE CONTRACTOR FAIL TO REMOVE AND REPLACE THE PLANT MATERIAL PER THAT SCHEDULE THE OWNER RESERVES THE RIGHT TO USE FUNDS BEING HELD TO OBTAIN THE SERVICES OF ANOTHER CONTRACTOR AND HAVE THE WORK COMPLETED.
4. (LAYOUT) - SCALE FROM THE DRAWING AND STAKE THE LOCATIONS OF ALL SPADE EDGING, SHADE TREES, AND EVERGREEN TREE AND RECEIVE OWNER APPROVAL PRIOR TO INSTALLATION.

PLANT MATERIAL:

1. (SUBSTITUTIONS) - PLANT SUBSTITUTIONS WILL NOT BE ACCEPTABLE UNLESS APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE.
2. (LAYOUT/SPACING) - PLANT SPACING WILL BE SCALED ON PLAN UNLESS NOTED OTHERWISE.
3. (BED FINISHING) - SPREAD PRE EMERGENCE HERBICIDE AND THREE INCHES OF SHREDDED HARDWOOD MULCH IN ALL PLANTING BEDS.
4. (PLANTING MIX) - FOR BIDDING PURPOSES ONLY. PLANTING MIX FOR ALL TREE PITS SHALL BE FORMED BY THOROUGHLY MIXING PIT EXCAVATIONS AND COMPOST (8# OF S.3 TO 7.0) AT A 3:1 RATIO AND PLACING INTO EXCAVATED PIT AS SHOWN IN LANDSCAPE DETAILS. FORM PLANTING MIX IN PLANTING BEDS BY SPREADING 12" OF TOPSOIL AND 2" OF COMPOST AND ROTOTILLING THOROUGHLY. FINAL RATIOS OF COMPOST TO TOPSOIL WILL BE DETERMINED BY SOIL ANALYSIS REPORTS.
8. (PLANT QUALITY) - ALL PLANTS SHALL BE NORMAL HEALTH, HEIGHT, LEAF DENSITY, AND SPREAD AS DEFINED BY THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1 LATEST AVAILABLE EDITION, OR THE AMERICAN ASSOCIATION OF NURSERYMEN.
7. (EDGING) - ALL PLANT BEDS ABUTTING LAWN AREAS ARE TO BE SEPARATED BY SPADE CUT EDGING.
8. (PLANT SIZES) - THE SIZES INDICATED IN THE PLANT SCHEDULE ARE THE MINIMUM REQUIRED AT THE TIME OF PLANTING.

SITE:

1. (SITE CONDITIONS) - THE CONTRACTOR SHALL FAMILIARIZE HIM OR HERSELF WITH THE SCOPE OF WORK, SOIL, LOCATION OF UTILITIES, AND WATER CONDITIONS BEFORE PROCEEDING WITH THE WORK.
2. (GRADING) - FINISH GRADES IN PLANTING BEDS ARE TO BE SMOOTH AND PROVIDE POSITIVE DRAINAGE PRIOR TO PLANT, SHREDDED HARDWOOD MULCH, AND LAWN INSTALLATION.
3. (CONSTRUCTION DAMAGE) - CONTRACTOR IS TO PREVENT DAMAGE TO CURBS AND PAVEMENTS ADJACENT TO CONSTRUCTION.
4. (SITE PREPARATION) - REMOVE ANY EXISTING LAWN AND OTHER MATERIAL HARMFUL TO PLANT GROWTH PRIOR TO FORMING PLANTING BEDS.
5. (TOPSOIL) - IN ALL AREAS LABELED AS LAWN (SEED OR SOD), SPREAD 4" OF TOPSOIL. FINISH GRADE, FERTILIZE (10-10-10 AT 5 LBS/1,000 SF FOR BIDDING PURPOSES ONLY), AND SOD OR SEED. FINAL FERTILIZER NUTRIENT QUANTITIES AND RATES WILL BE DETERMINED BY SOIL ANALYSIS REPORTS.

MAINTENANCE:

1. (PLANT MATERIAL) - MAINTAIN ALL PLANT MATERIAL PER SPECIFICATIONS. THIS INCLUDES THE 60 DAY MAINTENANCE PERIOD AFTER THE DATE OF SUBSTANTIAL COMPLETION. UPON RECEIVING SUBSTANTIAL COMPLETION OF THE WORK THE CONTRACTOR SHALL PREPARE A WRITTEN MAINTENANCE SCHEDULE FOR THE NEXT 60 DAYS AND REVIEW IT WITH THE OWNER. SHOULD THE CONTRACTOR FAIL TO PROVIDE THIS SCHEDULE OR PERFORM THE MAINTENANCE OF THE PLANT MATERIAL THE OWNER RESERVES THE RIGHT TO USE FUNDS BEING HELD TO OBTAIN THE SERVICES OF ANOTHER CONTRACTOR AND HAVE THE WORK COMPLETED. SAID 60 DAY MAINTENANCE PERIOD DOES NOT OPERATE DURING TIMES OF YEAR WHEN PLANT LIFE IS DORMANT THEREFORE NOT ESTABLISHING. IF MAINTENANCE PERIOD IS INTERRUPTED BY WINTER CONDITIONS, THE REMAINDER OF THE 60 DAYS SHALL RESUME THE FOLLOWING SPRING WHEN PLANTS AND LAWNS HAVE COME OUT OF DORMANCY.

1 Planting General Notes
Scale:



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#	Date	Description
1.	01/07/2017	COUNTY REVIEW
2.	09/18/2017	PERMIT DRAWINGS

Project Status
NOT FOR CONSTRUCTION

PROJECT
WOODLAND ACRES
STONETOWN MOBILE HOME PARK

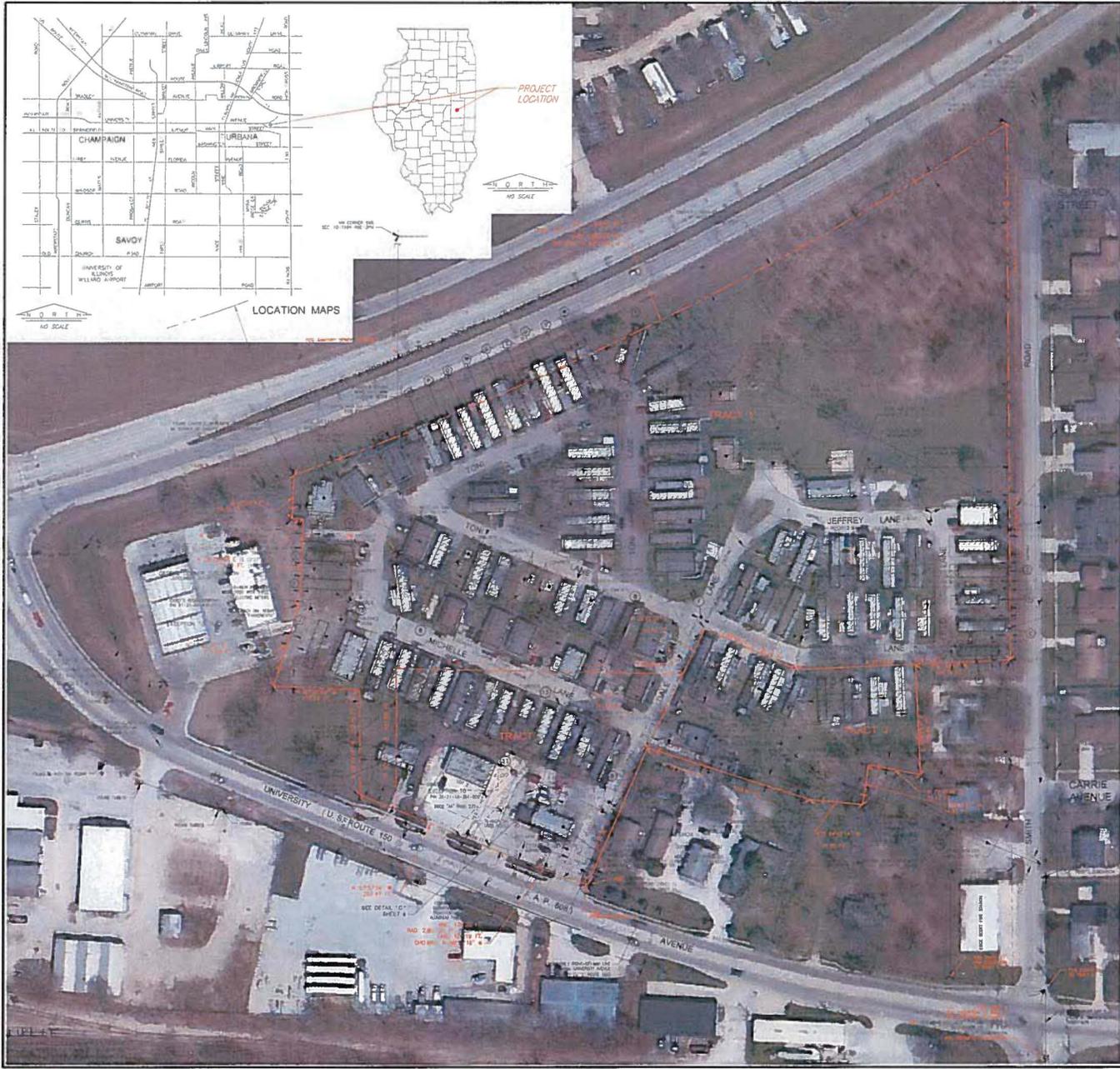
CHAMPAIGN COUNTY
URBANA, ILLINOIS

Date:	01/06/17
Design/Drawn:	SDS
Reviewed:	AFJ
Field Book No.:	

LANDSCAPE
DETAILS AND NOTES

SCALE NUMBER
C8.5

Project No. 0161332.01



LEGEND

- UT— EXISTING UNDERGROUND TELEPHONE LINE (APPROXIMATE LOCATION)
- OE— EXISTING OVERHEAD ELECTRIC LINE (APPROXIMATE LOCATION)
- UE— EXISTING UNDERGROUND ELECTRIC LINE (APPROXIMATE LOCATION)
- AO— EXISTING OVERHEAD CABLE TELEVISION LINE (APPROXIMATE LOCATION)
- UW— EXISTING UNDERGROUND CABLE TELEVISION LINE (APPROXIMATE LOCATION)
- SW— EXISTING WATER LINE/SIZE (APPROXIMATE LOCATION)
- GC— EXISTING GAS LINE/SIZE (APPROXIMATE LOCATION)
- ST— EXISTING STORM SEWER LINE/SIZE (APPROXIMATE LOCATION)
- SW— EXISTING SANITARY SEWER LINE/SIZE (APPROXIMATE LOCATION)
- E— EXISTING ELECTRIC METER
- P— EXISTING ELECTRIC PEDESTAL
- POC— POINT-OF-COMMENCEMENT
- POB— POINT-OF-BEGINNING
- R— RECORD MEASUREMENT AND/OR DATA ESTIMATION OR DATA UNKNOWN
- W— WITNESS CORNER
- N— PERMANENT INDEX NUMBER
- M— METEOROLOGICAL MEASUREMENT
- B— BENCH MARK MEASUREMENT
- R— RADIUS
- K— KEYED ENCROACHMENT DESIGNATION
- R— KEYED EASEMENT/RESTRICTION DESIGNATION
- S— EXISTING STICK/POLY/PATH
- M— EXISTING MOBILE HOME LOCATION
- A— ANGLE 90 DEGREE ANGLE
- A— POINT-OF-AGENCY

AERIAL PHOTOGRAPHY FROM GOOGLE EARTH
AERIAL PHOTO IMAGERY DATED APRIL 2014

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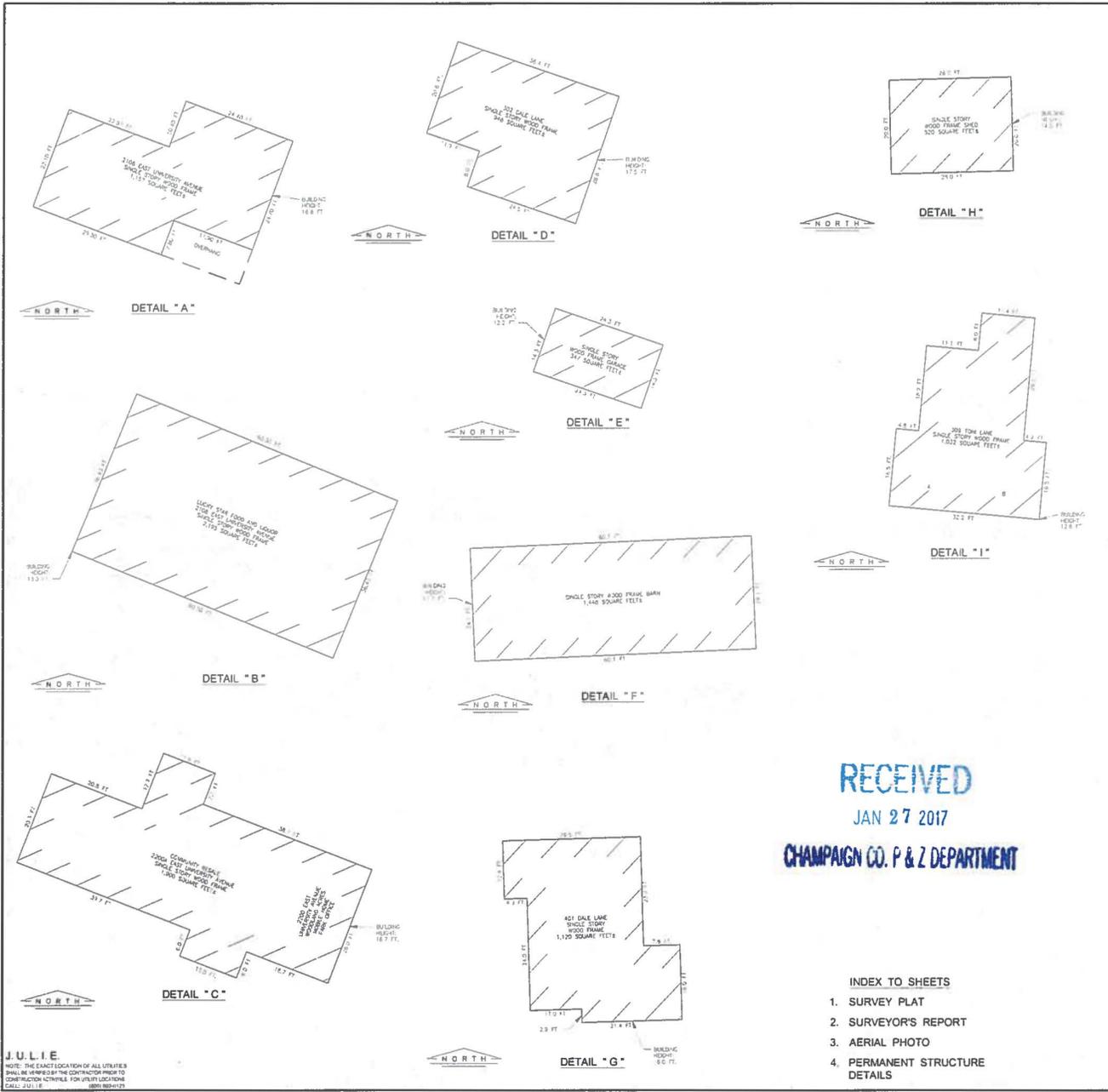
INDEX TO SHEETS

1. SURVEY PLAT
2. SURVEYOR'S REPORT
3. AERIAL PHOTO
4. PERMANENT STRUCTURE DETAILS

ALTA / NSPS LAND TITLE SURVEY FOR THE WOODLAND ACRES MOBILE HOME PARK SITE AT 2200 EAST UNIVERSITY AVENUE URBANA TOWNSHIP, CHAMPAIGN COUNTY, ILLINOIS



BERNS, CLANCY AND ASSOCIATES
ENGINEERS • SURVEYORS • PLANNERS
405 EAST MAIN STREET - POST OFFICE BOX 756
URBANA, ILLINOIS 61802-0756
PHONE (217) 384-1144 - FAX (217) 384-3386



JULIE
 NOTE: THE EXACT LOCATION OF ALL UTILITIES SHALL BE DETERMINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. UTILITIES FOR UTILITY LOCATIONS CALL 811. ILCS 262/1-1. © 2016 BERN'S, CLANCY AND ASSOCIATES

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- INDEX TO SHEETS**
1. SURVEY PLAT
 2. SURVEYOR'S REPORT
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KNOWN RECENT PRIOR SURVEYS

MPOR PLAT OF CASEY'S CORNER SUBDIVISION, URBANA, CHAMPAIGN COUNTY, ILLINOIS BY WESLEY J. MEYERS, ILLINOIS PROFESSIONAL LAND SURVEYOR 2603, DATED JUNE 20, 2012

ALTA/ACLS LAND TITLE SURVEY OF A PART OF THE SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 19 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, URBANA, CHAMPAIGN COUNTY, ILLINOIS BY WESLEY J. MEYERS, ILLINOIS PROFESSIONAL LAND SURVEYOR 2603, DATED JANUARY 10, 2012 (REVISED APRIL 26, 2012)

PLAT OF SURVEY OF A PART OF THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 19 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, CHAMPAIGN COUNTY, ILLINOIS BY ROBERT A. MOORE, ILLINOIS PROFESSIONAL LAND SURVEYOR 2616, DATED FEBRUARY 14, 2000

REPORT OF LOT 4 OF JACOB M. SMITH'S ESTATE SUBDIVISION, CHAMPAIGN COUNTY, ILLINOIS BY REA A. BRADFIELD, ILLINOIS PROFESSIONAL LAND SURVEYOR 2357, DATED JUNE 21, 1988

SITE AND PROPERTY SURVEY OF PART OF LOT 4 OF JACOB M. SMITH'S ESTATE SUBDIVISION, CHAMPAIGN COUNTY, ILLINOIS BY CHARLES S. DANNER, ILLINOIS PROFESSIONAL LAND SURVEYOR 1410, DATED MAY 17, 1958

SURVEY FOR EASEMENT IN PART OF SECTION 10, TOWNSHIP 19 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, CHAMPAIGN COUNTY, ILLINOIS BY CHARLES S. DANNER, ILLINOIS PROFESSIONAL LAND SURVEYOR 1470, DATED JULY 14, 1970

SURVEY FOR EASEMENT IN PART OF SECTION 10, TOWNSHIP 19 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, CHAMPAIGN COUNTY, ILLINOIS BY CHARLES S. DANNER, ILLINOIS PROFESSIONAL LAND SURVEYOR 1470, DATED JULY 10, 1970

- APPARENT ABOVE-GROUND ENCROACHMENTS**
- (A) THE EASTERLY END OF A MOBILE HOME APPARENTLY ENCRACHES UPON THE BUILDING SETBACK TO THE EAST BY AS MUCH AS 2.8 FEET.
 - (B) THE EASTERLY END OF A MOBILE HOME APPARENTLY ENCRACHES UPON THE BUILDING SETBACK TO THE EAST BY AS MUCH AS 4.7 FEET.
 - (C) THE EASTERLY END OF A MOBILE HOME APPARENTLY ENCRACHES UPON THE BUILDING SETBACK TO THE EAST BY AS MUCH AS 21.9 FEET.
 - (D) THE EASTERLY END OF A MOBILE HOME APPARENTLY ENCRACHES UPON THE BUILDING SETBACK TO THE EAST BY AS MUCH AS 9.9 FEET.
 - (E) THE EASTERLY END OF A MOBILE HOME APPARENTLY ENCRACHES UPON THE BUILDING SETBACK TO THE EAST BY AS MUCH AS 11.9 FEET.
 - (F) THE EASTERLY END OF A MOBILE HOME APPARENTLY ENCRACHES UPON THE BUILDING SETBACK TO THE EAST BY AS MUCH AS 8.5 FEET AND THE SOUTHWEST CORNER OF THE MOBILE HOME APPARENTLY ENCRACHES UPON THE BUILDING SETBACK TO THE SOUTH BY AS MUCH AS 8.8 FEET. THE WOOD DECK OF THE MOBILE HOME APPARENTLY ENCRACHES UPON THE ADJACENT PROPERTY TO THE SOUTH BY AS MUCH AS 17 FEET.
 - (G) THE SOUTHWEST CORNER OF A GARAGE APPARENTLY ENCRACHES UPON THE BUILDING SETBACK TO THE SOUTH BY AS MUCH AS 12.8 FEET.
 - (H) THE SOUTHWEST CORNER OF A MOBILE HOME APPARENTLY ENCRACHES UPON THE BUILDING SETBACK TO THE WEST BY AS MUCH AS 3.4 FEET.
 - (I) THE SOUTHWEST CORNER OF A MOBILE HOME APPARENTLY ENCRACHES UPON THE BUILDING SETBACK TO THE SOUTH BY AS MUCH AS 3.3 FEET.
 - (J) THE SOUTHWEST CORNER OF A CONCRETE PAD APPARENTLY ENCRACHES UPON SUBJECT PROPERTY (TRACT 1) BY AS MUCH AS 6.8 FEET.
 - (K) THE WESTERN END OF A MOBILE HOME APPARENTLY ENCRACHES UPON THE BUILDING SETBACK TO THE WEST BY AS MUCH AS 11.8 FEET.
 - (L) THE WESTERN END OF A MOBILE HOME APPARENTLY ENCRACHES UPON THE BUILDING SETBACK TO THE WEST BY AS MUCH AS 9.2 FEET.
 - (M) THE SOUTHWEST CORNER OF A 1,088 SQUARE FOOT SINGLE STORY WOOD FRAME HOUSE APPARENTLY ENCRACHES UPON THE BUILDING SETBACK TO THE WEST BY AS MUCH AS 4.9 FEET AND UPON THE BUILDING SETBACK TO THE SOUTH BY AS MUCH AS 3.7 FEET.
 - (N) THE NORTHERLY END OF A MOBILE HOME APPARENTLY ENCRACHES UPON THE BUILDING SETBACK TO THE NORTH BY AS MUCH AS 8.1 FEET.
 - (O) THE NORTHERLY END OF A MOBILE HOME APPARENTLY ENCRACHES UPON THE BUILDING SETBACK TO THE NORTH BY AS MUCH AS 14.3 FEET.
 - (P) THE NORTHERLY END OF A MOBILE HOME APPARENTLY ENCRACHES UPON THE BUILDING SETBACK TO THE NORTH BY AS MUCH AS 13.3 FEET.
 - (Q) THE NORTHERLY END OF A MOBILE HOME APPARENTLY ENCRACHES UPON THE INTERSTATE ROUTE 74 URBANA SPUR RIGHT-OF-WAY BY AS MUCH AS 0.9 FEET AND BY AS MUCH AS 13.9 FEET IN THE BUILDING SETBACK.
 - (R) THE NORTHERLY END OF A MOBILE HOME APPARENTLY ENCRACHES UPON THE INTERSTATE ROUTE 74 URBANA SPUR RIGHT-OF-WAY BY AS MUCH AS 11.0 FEET AND BY AS MUCH AS 28.0 FEET IN THE BUILDING SETBACK.
 - (S) THE NORTHERLY END OF A MOBILE HOME APPARENTLY ENCRACHES UPON THE INTERSTATE ROUTE 74 URBANA SPUR RIGHT-OF-WAY BY AS MUCH AS 13.4 FEET AND BY AS MUCH AS 28.4 FEET IN THE BUILDING SETBACK.
 - (T) THE NORTHERLY END OF A MOBILE HOME APPARENTLY ENCRACHES UPON THE BUILDING SETBACK TO THE NORTH BY AS MUCH AS 13.8 FEET.
 - (U) THE NORTHERLY END OF A MOBILE HOME APPARENTLY ENCRACHES UPON THE INTERSTATE ROUTE 74 URBANA SPUR RIGHT-OF-WAY BY AS MUCH AS 13.8 FEET AND BY AS MUCH AS 28.8 FEET IN THE BUILDING SETBACK.
 - (V) THE NORTHERLY END OF A MOBILE HOME APPARENTLY ENCRACHES UPON THE INTERSTATE ROUTE 74 URBANA SPUR RIGHT-OF-WAY BY AS MUCH AS 7.8 FEET AND BY AS MUCH AS 22.6 FEET IN THE BUILDING SETBACK.
 - (W) THE NORTHERLY END OF A MOBILE HOME APPARENTLY ENCRACHES UPON THE INTERSTATE ROUTE 74 URBANA SPUR RIGHT-OF-WAY BY AS MUCH AS 13.2 FEET AND BY AS MUCH AS 28.2 FEET IN THE BUILDING SETBACK.
 - (X) THE NORTHEAST CORNER OF A MOBILE HOME APPARENTLY ENCRACHES UPON THE BUILDING SETBACK TO THE NORTH BY AS MUCH AS 10.9 FEET AND THE NORTHEAST CORNER APPARENTLY ENCRACHES UPON THE INTERSTATE ROUTE 74 URBANA SPUR RIGHT-OF-WAY BY AS MUCH AS 3.3 FEET AND BY AS MUCH AS 20.3 FEET IN THE BUILDING SETBACK.

ALTA / NSP LAND TITLE SURVEY
FOR THE WOODLAND ACRES
MOBILE HOME PARK SITE AT
2200 EAST UNIVERSITY AVENUE
URBANA TOWNSHIP,
CHAMPAIGN COUNTY, ILLINOIS

 **BERN'S, CLANCY AND ASSOCIATES**
 ENGINEERS • SURVEYORS • PLANNERS
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Applicant: Susan Chavarria
Contact: Susan Chavarria
Address: Champaign County Planning and Zoning
 1776 East Washington Street
 Urbana, IL 61802

IDNR Project Number: 1706843
Date: 02/02/2017
Alternate Number: 869-AM-17

Project: Stonetown
Address: 2200 East University, Urbana

Description: proposed rezoning

Natural Resource Review Results

This project was submitted for information only. It is not a consultation under Part 1075.

The Illinois Natural Heritage Database contains no record of State-listed threatened or endangered species, Illinois Natural Area Inventory sites, dedicated Illinois Nature Preserves, or registered Land and Water Reserves in the vicinity of the project location.

Location

The applicant is responsible for the accuracy of the location submitted for the project.

County: Champaign

Township, Range, Section:

19N, 9E, 9

19N, 9E, 10



IL Department of Natural Resources

Contact

Impact Assessment Section

217-785-5500

Division of Ecosystems & Environment

Disclaimer

The Illinois Natural Heritage Database cannot provide a conclusive statement on the presence, absence, or condition of natural resources in Illinois. This review reflects the information existing in the Database at the time of this inquiry, and should not be regarded as a final statement on the site being considered, nor should it be a substitute for detailed site surveys or field surveys required for environmental assessments. If additional protected resources are encountered during the project's implementation, compliance with applicable statutes and regulations is required.

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IDNR Project Number: 1706843

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STORM WATER DRAINAGE PLAN

Expansion of Woodland Acres Mobile Home Park Champaign County, Urbana, Illinois

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January 2017

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DRAINAGE PLAN

ABSTRACT

Stonetown Woodland Acres LLC is proposing to expand the existing mobile home park called Woodland Acres in Urbana, Illinois. The expanded park will be located between State Highway 130 and Route 150, directly north of Jeffrey Lane. The proposed development will include the construction of 21 mobile home sites with impervious pads (average size: 1214.5 SF) and a recreational area. Two new roads will be constructed for the new sites.

The report will analyze the existing, row crop, and proposed conditions, determine the estimated required storage volume to control the 1-year, 2-year, 5-year, 10-year, 50-year, and 100-year storm events, and design the required outlet structure to control the peak runoff rates for the identified storm events. Based upon the required compensatory storage by Champaign County, the impacts of the development upon upstream and downstream water resources is positive. Discharges leaving the site will be equal to or less than existing discharges.

Drainage evaluation will use the HEC-HMS software program.

EXISTING CONDITIONS

The existing site is approximately 3.64 acres in size. The existing ground cover conditions consist of existing woods-grass combination in good condition, asphalt paving, gravel parking lots, and existing sheds. The underlying soil in the area is a Senachwine silt loam with 2-5% slopes, classified as a hydrologic group C soil.

The following land use classification and corresponding curve numbers are based upon the existing site conditions and the existing soil classification as determined by the National Resource Conservation Service soils map for the area.

Existing Subbasin 1

Soil Group C	Woods-grass, good	2.11 ac	CN = 72
	Impervious	0.00 ac	CN = 98
		Weighted CN = 72	

Existing Subbasin 2

Soil Group C	Woods-grass, good	0.65 ac	CN = 72
	Impervious	0.00 ac	CN = 98
		Weighted CN = 72	

Existing Subbasin 3

Soil Group C	Woods-grass, good	0.39 ac	CN = 72
	Impervious	0.00 ac	CN = 98
		Weighted CN = 72	

Existing Subbasin 4

Soil Group C	Open Space/Lawn	0.223 ac	CN = 74
	Impervious	0.277 ac	CN = 98
		Weighted CN = 87.3	

ROW CROP CONDITIONS

Champaign County requires proposed discharges meet discharges assuming row crop conditions on the entire site; therefore, the following row crop conditions and corresponding curve numbers are calculated for the existing subbasin areas.

Existing Subbasin 1

Soil Group C	Row crops SR+CR, Good	2.11 ac	CN = 82
		Weighted CN = 82	

Existing Subbasin 2

Soil Group C	Row crops SR+CR, Good	0.65 ac	CN = 82
		Weighted CN = 82	

Existing Subbasin 3

Soil Group C	Row crops SR+CR, Good	0.39 ac	CN = 82
		Weighted CN = 82	

Existing Subbasin 4

Soil Group C	Row crops SR+CR, Good	0.50 ac	CN = 82
		Weighted CN = 82	

PROPOSED CONDITIONS

The proposed conditions will result in the development of 21 mobile home sites and recreational area. The proposed ground cover conditions will consist of 21 lots, an average lot size of 5240 sf and an average impervious pad size of 1214.5 sf. Additional paved roads will allow residents to access the properties.

The land use classification and corresponding curve numbers used on the proposed conditions subbasins are based upon the proposed site conditions and the existing soil classification as determined by the National Resource Conservation Service soils map for the area. See the Appendix for a complete list of curve numbers and areas.

ALLOWABLE PEAK DISCHARGE

Champaign County Storm Water Management and Erosion Control Ordinance requires that the peak rate of discharge from the property cannot exceed the following:

- 5-year, row crop critical duration discharge rate for proposed 50-year storm event
- 1-year, row crop critical duration discharge rate for proposed 1-year storm event
- 2-year, row crop critical duration discharge rate for proposed 2-year storm event
- 5-year, row crop critical duration discharge rate for proposed 5-year storm event

The Illinois Department of Transportation Drainage Manual requires that the peak rate of discharge from the property cannot exceed the following:

- 10-year, existing critical duration discharge rate for proposed 10-year storm event
- 100-year existing critical duration discharge rate for proposed 100-year storm event

For the proposed expansion to Woodland Acres Mobile Home site the row crop and existing condition discharge rates are as follows:

Row Crop Total Site Discharges

- 1-year event = 0.8 cfs
- 2-year event = 1.70 cfs
- 5-year event = 3.10 cfs

Existing Total Site Discharges

- 10-year event = 3.2 cfs
- 100-year event = 8.2 cfs

The rainfall intensities for the 1-year, 5-year, 10-year, 50-year, and 100-year rainfall events have been taken from the Illinois State Water Survey (ISWS) Bulletin 70 rainfall. The rainfalls are shown in Table 1.

Frequency (years)	Rainfall (inches)
1	0.91
2	1.11
5	1.37
10	1.57
50	2.16
100	2.45

The 1st quartile Huff distribution input was used in existing, row crop, and proposed models. The 1st quartile storm distribution is used for storm durations of six hours or less. The 2nd quartile Huff distribution input was used for the 12-hour storm duration and the 3rd quartile Huff distribution input was used for the 24-hour storm duration.

A critical duration analysis of storm durations from 10 minutes to 24-hours was conducted on the existing, 50-year event. The analysis shows that the 1 hour storm produces the highest discharges for two of the three outfalls in the system, and the 15 minutes storm produces the highest discharge for the third outfall in the system. The 30-minute storm generated only slightly lower discharges for all three individual outfalls, but the highest total discharge for all three sites. The 30-minute storm was used in the existing, row crop, and proposed models to meet release rate design criteria for both Champaign County and Illinois Department of Transportation (IDOT). **Error! Reference source not found.** shows the critical duration results.

Table 2. Critical duration analysis

50yr, Existing	Drainage Area (ac)	Discharge (cfs) by Event duration							
		10 min	15 min	30 min	1hr	2hr	6hr	12hr	24hr
Outfall	1.03	0.6	1.2	1.9	2.1	1.9	1.1	1.2	1.0
Outfall_SmithRoad	2.11	0.9	1.6	2.6	2.7	2.5	1.5	1.6	1.3
Outfall_ExStormSewer	0.50	2.8	3.1	2.9	2.5	2	1	0.6	0.4

STORM ROUTING

In existing conditions, the southern portion of the site (Subbasin 4) drains to an existing storm sewer inlet in the existing mobile home park. The majority of the area (Subbasin 1) drains to a ditch along Smith Road (east of the site) and into an existing storm sewer system in the adjacent neighborhood. The areas to the north and northwest (Subbasins 2 and 3) drain into an IDOT ditch paralleling State Highway 130 that flows to the northeast. The areas were modeled with three separate outfalls: the existing storm sewer in the mobile home park (Outfall_ExStormSewer), the existing storm sewer on Smith Road (Outfall_SmithRoad), and the IDOT ditch outfall (Outfall). The peak discharge from these three outfalls were summed to attain the existing discharge of the site. An existing conditions drainage area map can be found in the Appendix. Figure 1 shows the schematic for the existing conditions HEC-HMS model.

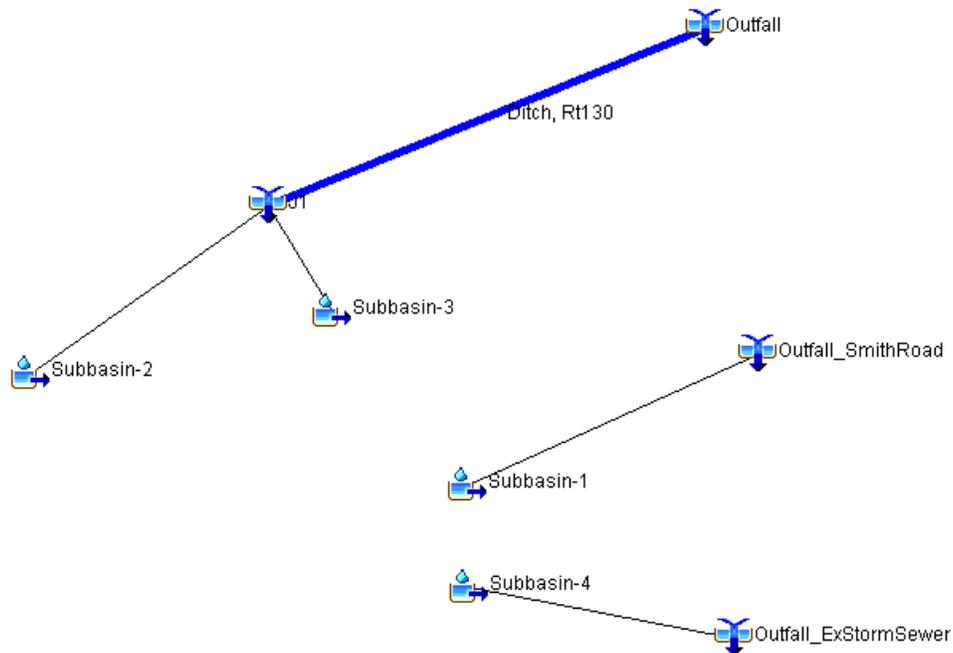


Figure 1: Existing HEC-HMS model

For the proposed conditions model, the existing model was modified significantly to reflect the new drainage areas with proposed development, additional storm sewers, and new detention areas. Three outfalls are utilized in proposed conditions; however, drainage areas to each outfall change considerably. The southern drainage area outletting to the existing storm sewer system within the mobile home park becomes much smaller, as does the portion of the site outfalling directly to the ditch along Smith Road. The majority of the site is routed via storm sewers into a large dry detention basin in the north central portion of the site. The large detention basin outlets into the IDOT ditch to the north. A small drainage area on the northeast side of the site drains into a second, smaller dry detention depression in the upper northeast corner of the site. The small detention depression outlets into the storm sewer system along Smith Road. Both detention basins abide by IDOT standards outlined in Public Act 86-616, section 9-115.1 of the Illinois Highway Code to “...not construct any drainage facility within a distance of 10 feet plus one and one-half times the depth of any drainage facility adjacent to the right-of-way of any public highway”. See the Appendix for calculations pertaining to this set-back from the right-of-way. The drainage facilities are no closer than 15.25 feet from the IDOT right-of-way. A proposed drainage area map is included in the Appendix, as well as a proposed site plan.

In the proposed HEC-HMS model, the SCS Curve Number method was used with a Clark Unit Hydrograph to determine the runoff hydrograph from each site. A uniform minimum time of concentration of 5 minutes was used for all drainage areas after existing conditions time of concentrations yielded times less than 5 minutes (See Appendix for calculations). Runoff hydrographs were routed through storm sewers using the kinematic wave routing method and through ditches and swales using the Muskingum-Cunge routing method. See Figure 2 for the schematic of the proposed conditions HEC-HMS model.

Total drainage area of the Woodland Acres Mobile Home Park expansion in proposed conditions is 3.70 acres. The total proposed impervious area of the site is 1.13 acres.

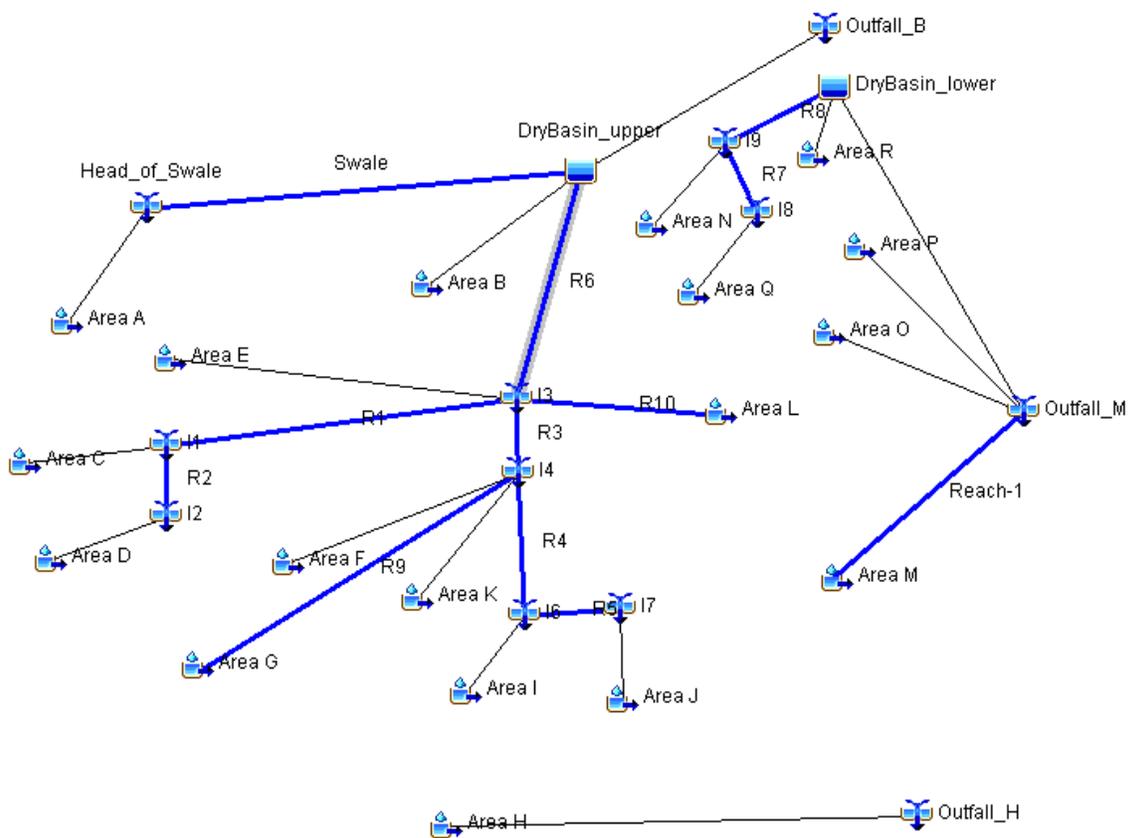


Figure 2. Proposed conditions HEC-HMS model

The control for the large detention basin will consist of one sharp-edge orifice; a 3.00” diameter hole at 735.5 leading to a 10” outlet pipe. The control for the small detention depression is a 4” diameter pipe.

RESULTS

Champaign County Requirements

The row crop conditions model peak discharge for the site was calculated using the HEC-HMS model. The total site peak flows for the 1-year, 2-year, and 5-year storm events, assuming row crop land cover on the entire site were calculated as 0.8 cfs, 1.70 cfs, and 3.1 cfs, respectively. The total discharges are shown, along with individual outfall discharges in Table 3 to Table 6.

The maximum allowable release rate for the 50-year storm event in proposed conditions is equal to the 5-year row crop discharge. The proposed 50-year runoff for the entire site equals 2.9 cfs (Table 3).

Table 3. Proposed peak discharges for the 50-year storm event compared to the 5-year storm event for Row Crop conditions.

	Drainage Area (ac)		30 min storm	
	Existing	Proposed	RowCrop Qp (cfs) 5 year	Proposed Qp (cfs) 50 year
Outfall (B)	1.03	2.73	0.9	0.36
Outfall_SmithRoad (M)	2.11	0.89	1.8	1.8
Outfall_ ExStormSewer (H)	0.50	0.08	0.4	0.7
Total	3.64	3.70	3.1	2.9

The maximum allowable release rate for the 1-year, 2-year, and 5-year storm events in proposed conditions also have to equal the peak discharge of the 1-year, 2-year, and 5-year storm events in row crop condition. For the 1-year storm, the proposed discharge equals the row crop discharge (0.8 cfs) (Table 4). For the 2-year storm, the proposed discharge is 1.10 cfs compared to 1.70 cfs for row crop discharge (Table 5). And for the 5-year storm, the proposed discharge equals 1.30 cfs compared to 3.10 cfs for row crop discharge (Table 6).

Table 4. Proposed peak discharge for the 1-year storm event compared to the 1-year storm event for Row Crops.

	Drainage Area (ac)		30 min storm	
	Existing	Proposed	RowCrop Qp (cfs) 1 year	Proposed Qp (cfs) 1 year
Outfall (B)	1.03	2.73	0.2	0.2
Outfall_SmithRoad (M)	2.11	0.89	0.5	0.3
Outfall_ ExStormSewer (H)	0.50	0.08	0.1	0.3
Total	3.64	3.70	0.8	0.8

Table 5. Proposed peak discharge for the 2-year storm event compared to the 2-year storm event for Row Crops.

	Drainage Area		30 min storm	
	(ac)	(ac)	RowCrop Qp (cfs) 2 year	Proposed Qp (cfs) 2 year
Outfall (B)	1.03	2.73	0.5	0.2
Outfall_SmithRoad (M)	2.11	0.89	1.0	0.5
Outfall_ ExStormSewer (H)	0.50	0.08	0.2	0.4
Total	3.64	3.70	1.70	1.10

Table 6. Proposed peak discharge for the 5-year storm event compared to the 5-year storm event for Row Crops.

	Drainage Area		30 min storm	
	(ac)	(ac)	RowCrop Qp (cfs) 5 year	Proposed Qp (cfs) 5 year
Outfall (B)	1.03	2.73	0.9	0.2
Outfall_SmithRoad (M)	2.11	0.89	1.8	0.7
Outfall_ ExStormSewer (H)	0.50	0.08	0.4	0.4
Total	3.64	3.70	3.10	1.30

In all scenarios, the proposed conditions discharges are equal or less than the appropriate row crop condition discharges. The storm sewers are sized to adequately convey the 50-year storm event.

IDOT Requirements

The existing conditions model peak discharge for the site was calculated using the HEC-HMS model. The total site peak flows for the 10-year and 100-year storm events on the entire site were calculated as 3.2 cfs and 8.20 cfs, respectively. The total site discharges are shown, along with individual outfall discharges in Table 7 and Table 8.

The maximum allowable release rate for the 10-year and 100-year storm event in proposed conditions must equal the existing 10-year and 100-year discharges. The proposed 10-year and 100-year discharges for the entire site equal 1.6 cfs and 6.9 cfs, respectively, meeting the IDOT requirements.

Table 7. Proposed peak discharge for the 10-year storm event compared to the existing 10-year storm event discharge.

	Drainage Area (ac)		30 min storm	
	Existing	Proposed	Existing Qp (cfs) 10 year	Proposed Qp (cfs) 10 year
Outfall (B)	1.03	2.73	0.4	0.2
Outfall_SmithRoad (M)	2.11	0.89	0.8	0.9
Outfall_ ExStormSewer (H)	0.50	0.08	2	0.5
Total	3.64	3.70	3.2	1.6

Table 8. Proposed peak discharge for the 100-year storm event compared to the existing 100-year storm event discharge.

	Drainage Area (ac)		30 min storm	
	Existing	Proposed	Existing Qp (cfs) 100 year	Proposed Qp (cfs) 100 year
Outfall (B)	1.03	2.73	1.6	3.7
Outfall_SmithRoad (M)	2.11	0.89	3.2	2.9
Outfall_ ExStormSewer (H)	0.50	0.08	3.4	0.8
Total	3.64	3.70	8.2	7.4SU

In proposed conditions, the 100-year event will overtop both detention basins. Both basins have overflow spillways to outlet the 100-year runoff. The large basin will overflow to the IDOT ditch to the north. The small basin will overflow to the Smith Road ditch and storm sewer system. The overall total discharge in proposed conditions is less than existing conditions discharge for the 100-year storm event.

CONCLUSION

The results of the analysis demonstrate that adequate detention storage volume is provided for the proposed expansion of the Woodland Acres Mobile Home Site. The results of the storm routing indicates that the allowable peak discharges required by both IDOT and Champaign County will not be exceeded once the site has been constructed as proposed.

All pertinent worksheets, storm routing information are located within the Appendix of this report.

APPENDIX

Section 1

Project Location Map

NCRS Soils Map

FEMA Map

Calculations for IDOT ROW Set-back

Time of Concentration Calculations

Existing Drainage Area Map

Proposed Drainage Area Map

Section 2

Existing Runoff Model

Row Crop Runoff Model

Section 3

Basin Rating Curves

Proposed Runoff Model

Section 1

Google Maps Woodland Acres Mobile Home Park

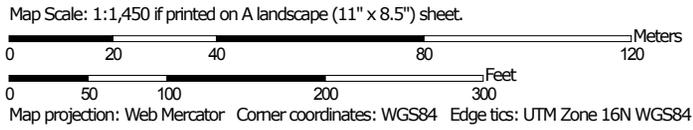


Imagery ©2017 Google, Map data ©2017 Google 500 ft

Hydrologic Soil Group—Champaign County, Illinois
(Stonetown)



Soil Map may not be valid at this scale.



MAP LEGEND

Area of Interest (AOI)		 C
Area of Interest (AOI)		 C/D
		 D
		 Not rated or not available
Soils		
Soil Rating Polygons		
 A		
 A/D		
 B		
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 C		
 C/D		
 D		
 Not rated or not available		
Soil Rating Lines		
 A		
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 B		
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 C		
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 Not rated or not available		
Soil Rating Points		
 A		
 A/D		
 B		
 B/D		
Water Features		
 Streams and Canals		
Transportation		
 Rails		
 Interstate Highways		
 US Routes		
 Major Roads		
 Local Roads		
Background		
 Aerial Photography		

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:12,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL:
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Champaign County, Illinois
Survey Area Data: Version 11, Sep 16, 2016

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Aug 20, 2013—Aug 28, 2013

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Hydrologic Soil Group

Hydrologic Soil Group— Summary by Map Unit — Champaign County, Illinois (IL019)				
Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
618B	Senachwine silt loam, 2 to 5 percent slopes	C	5.3	100.0%
Totals for Area of Interest			5.3	100.0%

Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

Rating Options

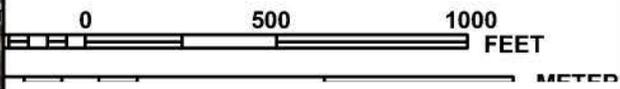
Aggregation Method: Dominant Condition

Component Percent Cutoff: None Specified

Tie-break Rule: Higher



MAP SCALE 1" = 500'



NFIP
NATIONAL FLOOD INSURANCE PROGRAM

PANEL 0431D

FIRM
FLOOD INSURANCE RATE MAP
CHAMPAIGN COUNTY,
ILLINOIS
AND INCORPORATED AREAS

PANEL 431 OF 625
 (SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
CHAMPAIGN COUNTY	170894	0431	D
URBANA, CITY OF	170035	0431	D

Notice to User: The **Map Number** shown below should be used when placing map orders; the **Community Number** shown above should be used on insurance applications for the subject community.

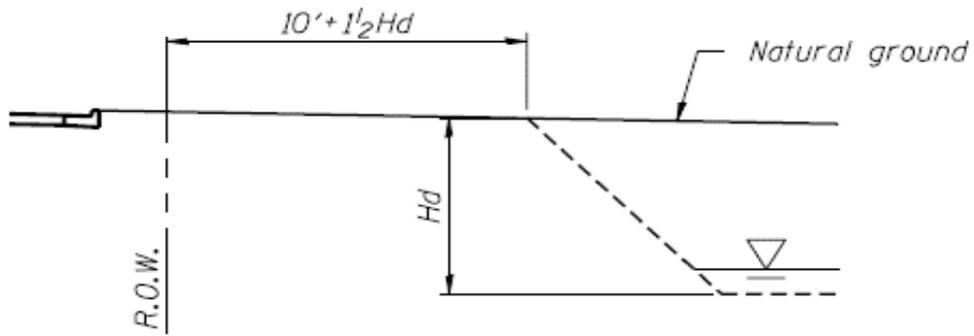


MAP NUMBER
17019C0431D
EFFECTIVE DATE
OCTOBER 2, 2013

Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov

IDOT Right-of-way Set-Back



CASE II

Distance = $10' + 1.5Hd$

Hd = 3.5 ft

Distance = 15.25 ft

Subbasin 1

Segment #1**Sheet flow**

Manning's n	0.03
Hydraulic length	100 ft
2yr, 24hr P	3 in
Slope	0.051 ft/ft

Avg Velocity	0.87 ft/sec
--------------	-------------

Time	0.0319 hrs
------	------------

Segment #2**Shallow concentrated flow**

Hydraulic length	277 ft
Slope	0.038 ft/ft
Unpaved	

Avg Velocity	3.15 ft/sec
--------------	-------------

Time	0.0244 hrs
------	------------

Segment #3**Channel flow**

Flow Area	16.25 ft ²
Wetted Perimeter	13.9 ft
Hydraulic Radius	1.17 ft
Slope	0.015 ft/ft
Mannings n	0.027
Hydraulic Length	168 ft

Avg Velocity	7.5 ft/sec
--------------	------------

Time	0.0062 hrs
------	------------

Total Time	0.0626 hrs
------------	------------

Use Tc	0.0833 hrs
--------	------------

Subbasin 2

Segment #1

Sheet flow

Manning's n 0.03
 Hydraulic length 100 ft
 2yr, 24hr P 3 in
 Slope 0.057 ft/ft

Avg Velocity 0.91 ft/sec

Time 0.0305 hrs

Segment #2

Shallow concentrated flow

Hydraulic length 151 ft
 Slope 0.055 ft/ft
 Unpaved

Avg Velocity 3.78 ft/sec

Time 0.0111 hrs

Segment #3

Channel flow

Flow Area 52.5 ft²
 Wetted Perimeter 35.5 ft
 Hydraulic Radius 1.48 ft
 Slope 0.013 ft/ft
 Mannings n 0.027
 Hydraulic Length 136 ft

Avg Velocity 8.17 ft/sec

Time 0.0046 hrs

Total Time 0.0462 hrs

Use Tc 0.0833 hrs

Subbasin 3

Segment #1**Sheet flow**

Manning's n	0.03
Hydraulic length	100 ft
2yr, 24hr P	3 in
Slope	0.058 ft/ft
 Avg Velocity	 0.91 ft/sec

Time	0.0305 hrs
------	------------

Segment #2**Shallow concentrated flow**

Hydraulic length	85 ft
Slope	0.047 ft/ft
Unpaved	

Avg Velocity	3.5 ft/sec
--------------	------------

Time	0.0067 hrs
------	------------

Segment #3**Channel flow**

Flow Area	52.5 ft ²
Wetted Perimeter	35.5 ft
Hydraulic Radius	1.48 ft
Slope	0.008 ft/ft
Mannings n	0.027
Hydraulic Length	187 ft

Avg Velocity	6.41 ft/sec
--------------	-------------

Time	0.0081 hrs
------	------------

Total Time	0.0454 hrs
------------	------------

Use Tc	0.0833 hrs
--------	------------

Subbasin 4

Segment #1

Sheet flow

Manning's n	0.03		
Hydraulic length	100 ft		
2yr, 24hr P	3 in		
Slope	0.04 ft/ft		
Avg Velocity	0.79 ft/sec		
		Time	0.0353 hrs

Segment #2

Shallow concentrated flow

Hydraulic length	194 ft		
Slope	0.021 ft/ft		
Unpaved	0.025 (paved = 0.025)		
r	0.2 (paved = 0.2)		
Avg Velocity	2.95 ft/sec		
		Time	0.0183 hrs

Segment #3

Channel flow

Flow Area	ft ²		
Wetted Perimeter	ft		
Hydraulic Radius	ft		
Slope	ft/ft		
Mannings n			
Hydraulic Length	ft		
Avg Velocity	#DIV/0! ft/sec		
		Time	0.0000 hrs
		Total Time	0.0536 hrs
		Use Tc	0.0833 hrs

Project: Stonetown Woodland Acres
 Proposed Conditions
 EPJ
 1/23/2017

Area Name		A		
Soil Hydro Group	Cover descriptions	CN	Area (ac)	Product of CN x area
C	Open space (lawn), good conditions		74	0.15
C	Impervious, paved		98	0.06
		Totals		0.21
		Total (sq mi)	0.000334348	
			Composite CN	81.0

Area Name		B		
Soil Hydro Group	Cover descriptions	CN	Area (ac)	Product of CN x area
C	Open space (lawn), good conditions		74	0.36
C	Impervious, paved		98	0.08
		Totals		0.44
		Total (sq mi)	0.000687117	
			Composite CN	78.3

Area Name		C		
Soil Hydro Group	Cover descriptions	CN	Area (ac)	Product of CN x area
C	Open space (lawn), good conditions		74	0.03
C	Impervious, paved		98	0.08
		Totals		0.11
		Total (sq mi)	0.000171918	
			Composite CN	90.6

Area Name		D		
Soil Hydro Group	Cover descriptions	CN	Area (ac)	Product of CN x area
C	Open space (lawn), good conditions		74	0.06
C	Impervious, paved		98	0.07
		Totals		0.12
		Total (sq mi)	0.000191005	
			Composite CN	87.0

Area Name		E		
Soil Hydro Group	Cover descriptions	CN	Area (ac)	Product of CN x area
C	Open space (lawn), good conditions		74	0.06
C	Impervious, paved		98	0.08
		Totals		0.14
		Total (sq mi)	0.000221602	
			Composite CN	87.9

Area Name		F		
Soil Hydro Group	Cover descriptions	CN	Area (ac)	Product of CN x area
C	Open space (lawn), good conditions		74	0.06
C	Impervious, paved		98	0.09
		Totals		0.15
		Total (sq mi)	0.000236125	
			Composite CN	87.8

Area Name		G		
Soil Hydro Group	Cover descriptions	CN	Area (ac)	Product of CN x area
C	Open space (lawn), good conditions		74	0.36
C	Impervious, paved		98	0.20
		Totals		0.55
		Total (sq mi)	0.000865667	
			Composite CN	82.6

Area Name		H		
Soil Hydro Group	Cover descriptions	CN	Area (ac)	Product of CN x area
C	Open space (lawn), good conditions		74	0.00
C	Impervious, paved		98	0.08
		Totals		0.08
		Total (sq mi)	0.00013065	
			Composite CN	98.0

Area Name		I		
Soil Hydro Group	Cover descriptions	CN	Area (ac)	Product of CN x area
C	Open space (lawn), good conditions		74	0.17
C	Impervious, paved		98	0.13
		Totals		0.31
		Total (sq mi)	0.000482057	
			Composite CN	84.4

Area Name		J		
Soil Hydro Group	Cover descriptions	CN	Area (ac)	Product of CN x area
C	Open space (lawn), good conditions		74	0.10
C	Impervious, paved		98	0.10
		Totals		0.20
		Total (sq mi)	0.000316241	
			Composite CN	85.8

Area Name		K		
Soil Hydro Group	Cover descriptions	CN	Area (ac)	Product of CN x area
C	Open space (lawn), good conditions		74	0.03
C	Impervious, paved		98	0.08
		Totals		0.11
		Total (sq mi)	0.000174554	
			Composite CN	90.8

Area Name	L				
Soil Hydro Group	Cover descriptions	CN	Area (ac)	Product of CN x area	
C	Open space (lawn), good conditions		74	0.21	15.182
C	Impervious, paved		98	0.21	20.826
Totals				0.42	36.008
Total (sq mi)			0.000652606		
			Composite CN	86.2	

Area Name	M				
Soil Hydro Group	Cover descriptions	CN	Area (ac)	Product of CN x area	
C	Open space (lawn), good conditions		74	0.23	16.87301928
C	Woods good condition		70	0.07	5.008181818
C	Impervious, paved		98	0.05	5.010013774
Totals				0.35	26.89121488
Total (sq mi)			0.00054794		
			Composite CN	76.7	

Area Name	N				
Soil Hydro Group	Cover descriptions	CN	Area (ac)	Product of CN x area	
C	Open space (lawn), good conditions		74	0.00	0.000
C	Impervious, paved		98	0.06	5.760
Totals				0.06	5.760
Total (sq mi)			0.0000915619		
			Composite CN	98.3	

Area Name	O				
Soil Hydro Group	Cover descriptions	CN	Area (ac)	Product of CN x area	
C	Open space (lawn), good conditions		74	0.05	3.920
C	Impervious, paved		98	0.03	2.767
Totals				0.08	6.686
Total (sq mi)			0.000126872		
			Composite CN	82.3	

Area Name	P				
Soil Hydro Group	Cover descriptions	CN	Area (ac)	Product of CN x area	
C	Open space (lawn), good conditions		74	0.10	7.327
C	Impervious, paved		98	0.03	2.711
Totals				0.13	10.038
Total (sq mi)			0.000197936		
			Composite CN	79.2	

Area Name	Q				
Soil Hydro Group	Cover descriptions	CN	Area (ac)	Product of CN x area	
C	Open space (lawn), good conditions		74	0.13	9.554
C	Impervious, paved		98	0.07	6.508
Totals				0.20	16.062
Total (sq mi)			0.000305495		
			Composite CN	82.2	

Area Name	R				
Soil Hydro Group	Cover descriptions	CN	Area (ac)	Product of CN x area	
C	Open space (lawn), good conditions		74	0.11	8.301
C	Impervious, paved		98	0.01	1.158
Totals				0.12	9.458
Total (sq mi)			0.000193723		
			Composite CN	76.3	

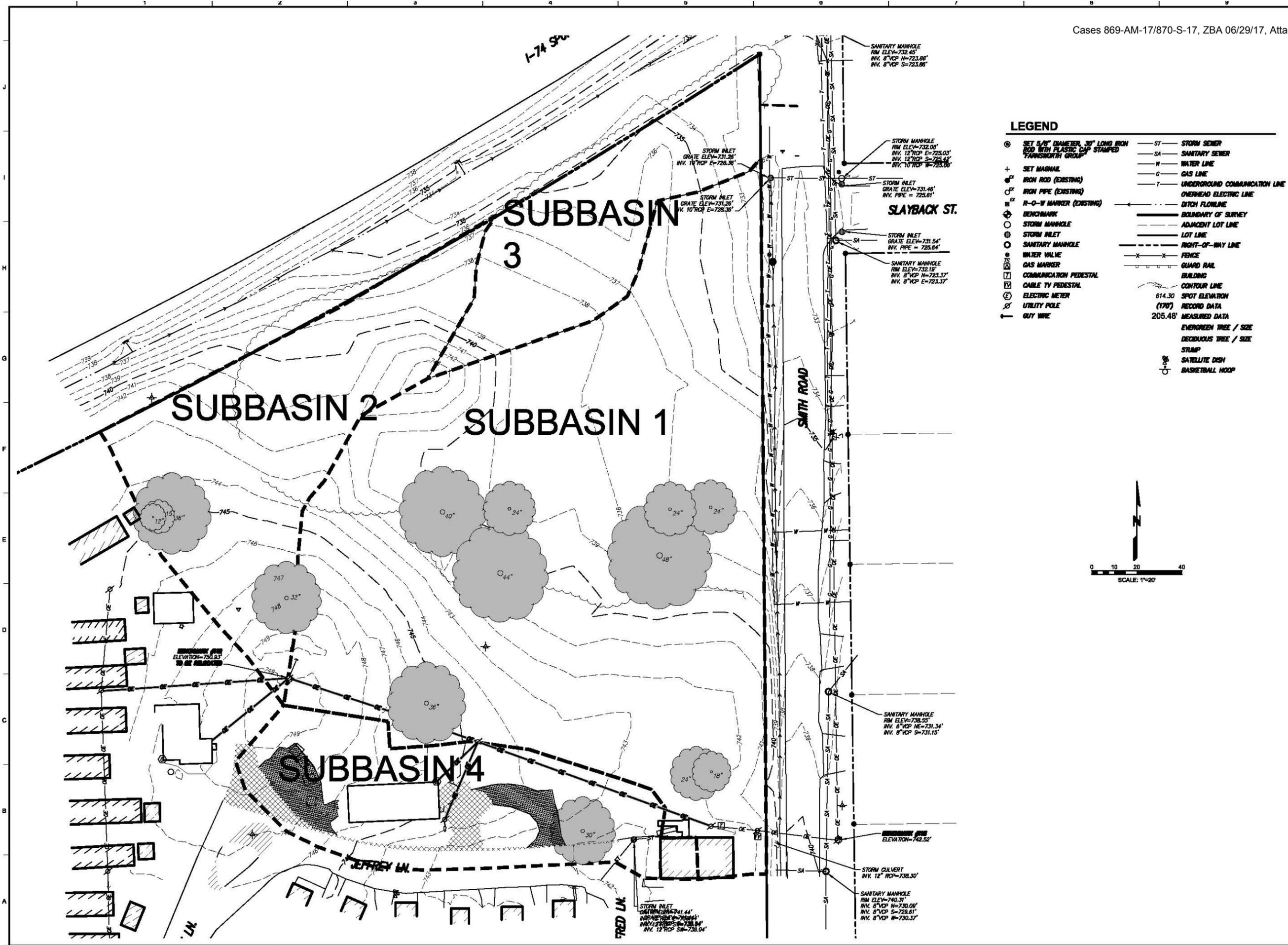


Farnsworth GROUP

2211 WEST BRADLEY AVENUE
CHAMPAIGN, ILLINOIS 61821
(217) 352-7408 / info@f-w.com

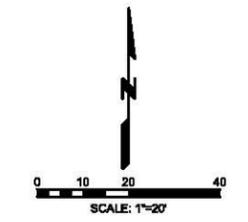
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Engineers | Architects | Surveyors | Scientists

ISSUE:
Date: Description:



LEGEND

⊙	SET 5/8" DIAMETER, 30" LONG IRON ROD WITH PLASTIC CAP STAMPED FARNSWORTH GROUP	ST	STORM SEWER
+	SET MARGINAL	SA	SANITARY SEWER
⊕	IRON ROD (EXISTING)	W	WATER LINE
⊖	IRON PIPE (EXISTING)	G	GAS LINE
⊞	R-O-W MARKER (EXISTING)	U	UNDERGROUND COMMUNICATION LINE
⊙	BENCHMARK	OE	OVERHEAD ELECTRIC LINE
⊙	STORM MANHOLE	DL	DITCH FLOWLINE
⊙	STORM INLET	BS	BOUNDARY OF SURVEY
⊙	SANITARY MANHOLE	AL	ADJACENT LOT LINE
⊙	WATER VALVE	RL	RIGHT-OF-WAY LINE
⊙	GAS MARKER	X-X	FENCE
⊙	COMMUNICATION PEDESTAL	GR	GUARD RAIL
⊙	CABLE TV PEDESTAL	B	BUILDING
⊙	ELECTRIC METER	CL	CONTOUR LINE
⊙	UTILITY METER	614.30	SPOT ELEVATION
⊙	GUY WIRE	(170)	RECORD DATA
		205.48'	MEASURED DATA
			EVERGREEN TREE / SIZE
			DECIDUOUS TREE / SIZE
			STRUMP
			SATELLITE DISH
			BASKETBALL HOOP



Project Status
NOT FOR CONSTRUCTION

PROJECT:
WOODLAND ACRES
STONETOWN MOBILE HOME PARK

CHAMPAIGN COUNTY
URBANA, ILLINOIS

Date: 01/08/17

Design/Drawn: EP/JSDS

Reviewed: MF

Field Book No.: 126

SHEET TITLE

**EXISTING DRAINAGE
AREA MAP**

SHEET NUMBER

1

Project No.: 0161332.01

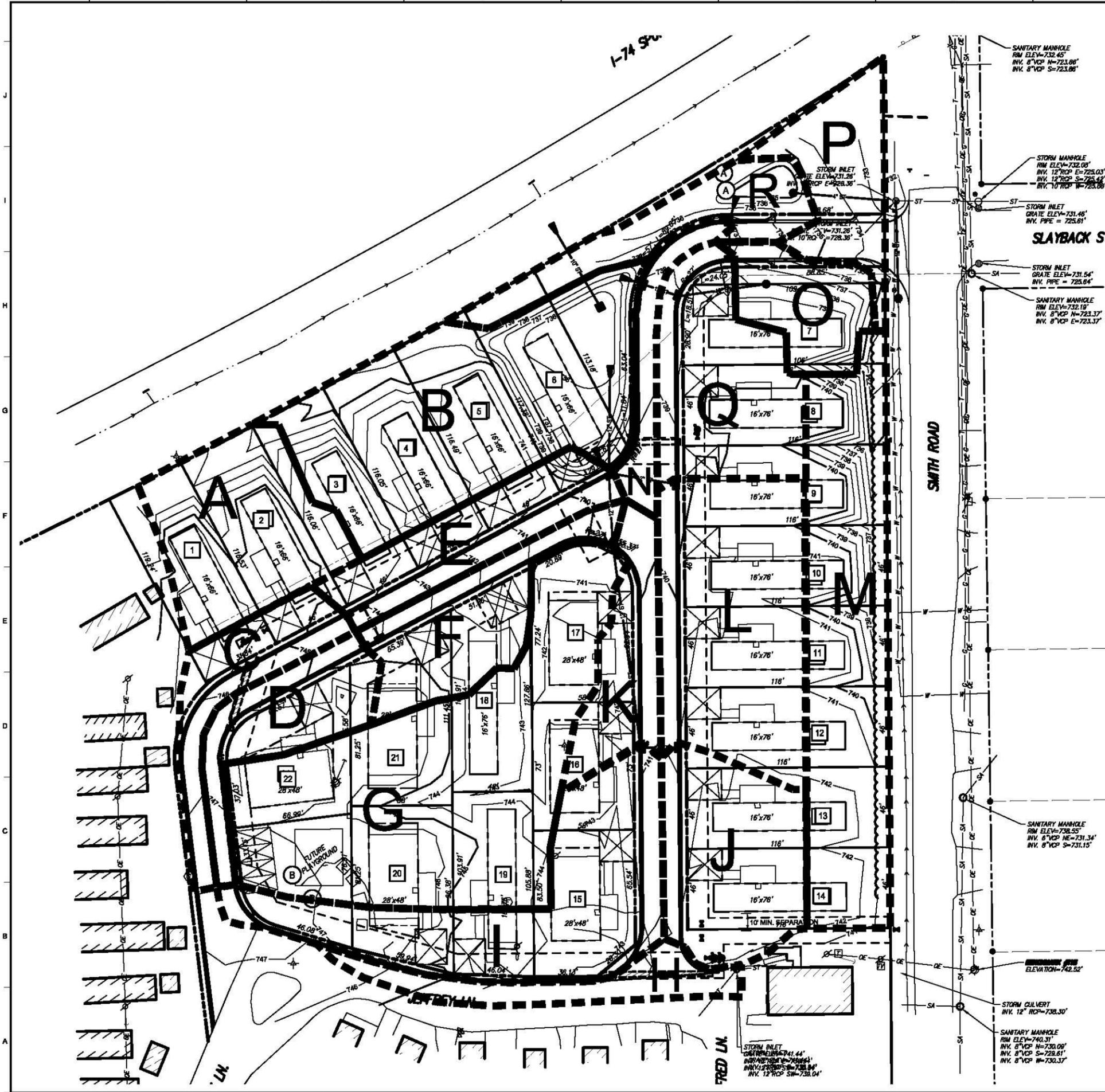


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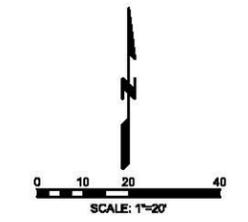
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Engineers | Architects | Surveyors | Scientists

ISSUE:
Date: Description:



LEGEND

- | | | | |
|---|--------------------------------------------------------------------------------|---------|--------------------------------|
| ⊙ | SET 5/8" DIAMETER, 30" LONG IRON ROD WITH PLASTIC CAP STAMPED FARNSWORTH GROUP | — ST — | STORM SEWER |
| + | SET MARGINAL | — SA — | SANITARY SEWER |
| ⊕ | IRON ROD (EXISTING) | — W — | WATER LINE |
| ⊕ | IRON PIPE (EXISTING) | — G — | GAS LINE |
| ⊕ | R-O-W MARKER (EXISTING) | — T — | UNDERGROUND COMMUNICATION LINE |
| ⊕ | BENCHMARK | — | OVERHEAD ELECTRIC LINE |
| ⊕ | STORM MANHOLE | — | DITCH FLOWLINE |
| ⊕ | STORM INLET | — | BOUNDARY OF SURVEY |
| ⊕ | SANITARY MANHOLE | — | ADJACENT LOT LINE |
| ⊕ | WATER VALVE | — | LOT LINE |
| ⊕ | GAS MARKER | — | RIGHT-OF-WAY LINE |
| ⊕ | COMMUNICATION PEDESTAL | — | FENCE |
| ⊕ | CABLE TV PEDESTAL | — | GUARD RAIL |
| ⊕ | ELECTRIC METER | — | BUILDING |
| ⊕ | UTILITY POLE | — | CONTOUR LINE |
| ⊕ | GUY WIRE | 614.30 | SPOT ELEVATION |
| | | (170) | RECORD DATA |
| | | 205.48' | MEASURED DATA |
| | | | EVERGREEN TREE / SIZE |
| | | | DECIDUOUS TREE / SIZE |
| | | | STRUMP |
| | | | SATELLITE DISH |
| | | | BASKETBALL HOOP |



Project Status
NOT FOR CONSTRUCTION

PROJECT:
WOODLAND ACRES
STONETOWN MOBILE HOME PARK

CHAMPAIGN COUNTY
URBANA, ILLINOIS

Date: 01/08/17

Design/Drawn: EP/JSDS

Reviewed: MF

Field Book No.: 126

SHEET TITLE

**PROPOSED
DRAINAGE AREA MAP**

SHEET NUMBER

1

Project No.: 0161332.01

Section 2

Stonetown_Existing.basin

Basin: Stonetown_Existing
Last Modified Date: 10 January 2017
Last Modified Time: 14:45:45
Version: 4.1
Filepath Separator: \
Unit System: English
Missing Flow To Zero: No
Enable Flow Ratio: No
Compute Local Flow At Junctions: No

Enable Sediment Routing: No

Enable Quality Routing: No

End:

Subbasin: Subbasin-1
Last Modified Date: 20 January 2017
Last Modified Time: 16:15:10
Canvas X: 380.62283737024245
Canvas Y: -1384.083044982699
Area: 0.003297
Downstream: Outfall_SmithRoad

Canopy: None
Plant Uptake Method: None

Surface: None

LossRate: SCS
Percent Impervious Area: 0.0
Curve Number: 72

Transform: Clark
Time of Concentration: 0.0833
Storage Coefficient: 0.0555
Time Area Method: Default

Baseflow: None

End:

Junction: Outfall_SmithRoad
Last Modified Date: 10 January 2017
Last Modified Time: 15:31:21
Canvas X: 3278.0847145488024
Canvas Y: -64.45672191528502

End:

Subbasin: Subbasin-2
Last Modified Date: 20 January 2017
Last Modified Time: 16:14:36
Canvas X: -3977.9005524861877
Canvas Y: -267.03499079189714
Area: 0.0010156
Downstream: J1

Canopy: None
Plant Uptake Method: None

Surface: None

LossRate: SCS
Percent Impervious Area: 0
Curve Number: 72

Stonetown_Existing.basin

Transform: Clark
Time of Concentration: 0.0833
Storage Coefficient: 0.0555
Time Area Method: Default

Baseflow: None

End:

Subbasin: Subbasin-3

Last Modified Date: 20 January 2017
Last Modified Time: 16:14:54
Canvas X: -968.8581314878893
Canvas Y: 363.3217993079579
Area: 0.000609
Downstream: J1

Canopy: None
Plant Uptake Method: None

Surface: None

LossRate: SCS
Percent Impervious Area: 0.0
Curve Number: 72

Transform: Clark
Time of Concentration: 0.0833
Storage Coefficient: 0.0555
Time Area Method: Default

Baseflow: None

End:

Junction: J1

Last Modified Date: 5 January 2017
Last Modified Time: 16:00:35
Canvas X: -1608.996539792387
Canvas Y: 1401.3840830449826
Downstream: Ditch, Rt130

End:

Reach: Ditch, Rt130

Last Modified Date: 5 January 2017
Last Modified Time: 16:09:17
Canvas X: 2750.8650519031144
Canvas Y: 3183.3910034602077
From Canvas X: -1608.996539792387
From Canvas Y: 1401.3840830449826
Downstream: Outfall

Route: Muskingum Cunge
Channel: Trapezoid
Length: 187
Energy Slope: 0.013
Mannings n: 0.027
Bottom Width: 0
Side Slope: 5.83
Use Variable Time Step: No
Channel Loss: None

End:

Junction: Outfall

Stonetown_Existing.basin

Last Modified Date: 10 January 2017
Last Modified Time: 14:40:17
Canvas X: 2750.8650519031144
Canvas Y: 3183.3910034602077

End:

Subbasin: Subbasin-4

Last Modified Date: 10 January 2017
Last Modified Time: 17:02:32
Canvas X: 405.15653775322335
Canvas Y: -2403.3149171270716
Area: 0.000781
Downstream: Outfall_ExStormSewer

Canopy: None
Plant Uptake Method: None

Surface: None

LossRate: SCS
Percent Impervious Area: 55
Curve Number: 87.3

Transform: Clark
Time of Concentration: 0.0833
Storage Coefficient: 0.055
Time Area Method: Default

Baseflow: None

End:

Junction: Outfall_ExStormSewer

Last Modified Date: 10 January 2017
Last Modified Time: 14:46:24
Canvas X: 3038.674033149171
Canvas Y: -2900.552486187845

End:

Basin Schematic Properties:

Last View N: 5000.0
Last View S: -5000.0
Last View W: -5000.0
Last View E: 5000.0
Maximum View N: 5000.0
Maximum View S: -5000.0
Maximum View W: -5000.0
Maximum View E: 5000.0
Extent Method: Elements
Buffer: 0
Draw Icons: Yes
Draw Icon Labels: Name
Draw Map Objects: No
Draw Gridlines: No
Draw Flow Direction: No
Fix Element Locations: No
Fix Hydrologic Order: No

End:

Project: Stonetown Simulation Run: Ex, 10yr, 30min

Start of Run: 01Jan2000, 00:00 Basin Model: Stonetown_Existing
 End of Run: 01Jan2000, 12:00 Meteorologic Model: 10yr, 30min
 Compute Time: 26Jan2017, 11:29:59 Control Specifications: 30min

Hydrologic Element	Drainage Area (MI ²)	Peak Discharge (CFS)	Time of Peak	Volume (IN)
Subbasin-1	0.0032970	0.8	01Jan2000, 00:17	0.13
Outfall_SmithRoad	0.0032970	0.8	01Jan2000, 00:17	0.13
Subbasin-2	0.0010156	0.2	01Jan2000, 00:17	0.13
Subbasin-3	0.0006090	0.1	01Jan2000, 00:17	0.13
J1	0.0016246	0.4	01Jan2000, 00:17	0.13
Ditch, Rt130	0.0016246	0.4	01Jan2000, 00:19	0.13
Outfall	0.0016246	0.4	01Jan2000, 00:19	0.13
Subbasin-4	0.0007810	2.0	01Jan2000, 00:08	1.13
Outfall_ExStormSewer	0.0007810	2.0	01Jan2000, 00:08	1.13

Project: Stonetown Simulation Run: Ex,100yr,30min

Start of Run: 01Jan2000, 00:00 Basin Model: Stonetown_Existing
 End of Run: 01Jan2000, 12:00 Meteorologic Model: 100yr,30min
 Compute Time: 26Jan2017, 11:32:46 Control Specifications:30min

Hydrologic Element	Drainage Area (MI ²)	Peak Discharge (CFS)	Time of Peak	Volume (IN)
Subbasin-1	0.0032970	3.2	01Jan2000, 00:15	0.50
Outfall_SmithRoad	0.0032970	3.2	01Jan2000, 00:15	0.50
Subbasin-2	0.0010156	1.0	01Jan2000, 00:15	0.50
Subbasin-3	0.0006090	0.6	01Jan2000, 00:15	0.50
J1	0.0016246	1.6	01Jan2000, 00:15	0.50
Ditch, Rt130	0.0016246	1.6	01Jan2000, 00:16	0.50
Outfall	0.0016246	1.6	01Jan2000, 00:16	0.50
Subbasin-4	0.0007810	3.4	01Jan2000, 00:08	1.93
Outfall_ExStormSewer	0.0007810	3.4	01Jan2000, 00:08	1.93

Stonetown_RowCrops.basin

Basin: Stonetown_RowCrops

Description: Row crop good condition for reqd release rate calc
Last Modified Date: 10 January 2017
Last Modified Time: 15:38:42
Version: 4.1
Filepath Separator: \
Unit System: English
Missing Flow To Zero: No
Enable Flow Ratio: No
Compute Local Flow At Junctions: No

Enable Sediment Routing: No

Enable Quality Routing: No

End:

Subbasin: Subbasin-1

Last Modified Date: 20 January 2017
Last Modified Time: 16:16:55
Canvas X: 380.62283737024245
Canvas Y: -1384.083044982699
Area: 0.0033
Downstream: Outfall_SmithRoad

Canopy: None
Plant Uptake Method: None

Surface: None

LossRate: SCS
Percent Impervious Area: 0.0
Curve Number: 82

Transform: Clark
Time of Concentration: 0.0833
Storage Coefficient: 0.0555
Time Area Method: Default

Baseflow: None

End:

Junction: Outfall_SmithRoad

Last Modified Date: 10 January 2017
Last Modified Time: 15:31:21
Canvas X: 3278.0847145488024
Canvas Y: -64.45672191528502

End:

Subbasin: Subbasin-2

Last Modified Date: 20 January 2017
Last Modified Time: 16:16:01
Canvas X: -3996.316758747698
Canvas Y: -248.61878453038662
Area: 0.0010
Downstream: J1

Canopy: None
Plant Uptake Method: None

Surface: None

LossRate: SCS
Percent Impervious Area: 0

Stonetown_RowCrops.basin

Curve Number: 82

Transform: Clark
Time of Concentration: 0.0833
Storage Coefficient: 0.0555
Time Area Method: Default

Baseflow: None

End:

Subbasin: Subbasin-3

Last Modified Date: 20 January 2017
Last Modified Time: 16:16:32
Canvas X: -968.8581314878893
Canvas Y: 363.3217993079579
Area: 0.000609
Downstream: J1

Canopy: None
Plant Uptake Method: None

Surface: None

LossRate: SCS
Percent Impervious Area: 0.0
Curve Number: 82

Transform: Clark
Time of Concentration: 0.0833
Storage Coefficient: 0.0555
Time Area Method: Default

Baseflow: None

End:

Junction: J1

Last Modified Date: 5 January 2017
Last Modified Time: 16:00:35
Canvas X: -1608.996539792387
Canvas Y: 1401.3840830449826
Downstream: Ditch, Rt130

End:

Reach: Ditch, Rt130

Last Modified Date: 5 January 2017
Last Modified Time: 16:09:17
Canvas X: 2750.8650519031144
Canvas Y: 3183.3910034602077
From Canvas X: -1608.996539792387
From Canvas Y: 1401.3840830449826
Downstream: Outfall

Route: Muskingum Cunge
Channel: Trapezoid
Length: 187
Energy Slope: 0.013
Mannings n: 0.027
Bottom Width: 0
Side Slope: 5.83
Use Variable Time Step: No
Channel Loss: None

End:

Stonetown_RowCrops.basin

Junction: Outfall

Last Modified Date: 10 January 2017
Last Modified Time: 14:40:17
Canvas X: 2750.8650519031144
Canvas Y: 3183.3910034602077

End:

Subbasin: Subbasin-4

Last Modified Date: 26 January 2017
Last Modified Time: 17:10:56
Canvas X: 390.12738853503106
Canvas Y: -2372.611464968153
Area: .00078125
Downstream: Outfall_ExStormSewer

Canopy: None
Plant Uptake Method: None

Surface: None

LossRate: SCS
Percent Impervious Area: 0
Curve Number: 82

Transform: Clark
Time of Concentration: 0.0833
Storage Coefficient: 0.055
Time Area Method: Default

Baseflow: None

End:

Junction: Outfall_ExStormSewer

Last Modified Date: 10 January 2017
Last Modified Time: 14:46:24
Canvas X: 3038.674033149171
Canvas Y: -2900.552486187845

End:

Basin Schematic Properties:

Last View N: 5000.0
Last View S: -5000.0
Last View W: -5000.0
Last View E: 5000.0
Maximum View N: 5000.0
Maximum View S: -5000.0
Maximum View W: -5000.0
Maximum View E: 5000.0
Extent Method: Elements
Buffer: 0
Draw Icons: Yes
Draw Icon Labels: Name
Draw Map Objects: No
Draw Gridlines: No
Draw Flow Direction: No
Fix Element Locations: No
Fix Hydrologic Order: No

End:

Project: Stonetown Simulation Run: Row, 1yr, 30min

Start of Run: 01Jan2000, 00:00 Basin Model: Stonetown_RowCro
 End of Run: 01Jan2000, 12:00 Meteorologic Model: 1yr, 30min
 Compute Time: 26Jan2017, 11:10:13 Control Specifications: 30min

Hydrologic Element	Drainage Area (MI ²)	Peak Discharge (CFS)	Time of Peak	Volume (IN)
Subbasin-1	0.0033000	0.5	01Jan2000, 00:17	0.08
Outfall_SmithRoad	0.0033000	0.5	01Jan2000, 00:17	0.08
Subbasin-2	.001	0.2	01Jan2000, 00:17	0.08
Subbasin-3	.000609	0.1	01Jan2000, 00:17	0.08
J1	0.0016090	0.2	01Jan2000, 00:17	0.08
Ditch, Rt130	0.0016090	0.2	01Jan2000, 00:19	0.08
Outfall	0.0016090	0.2	01Jan2000, 00:19	0.08
Subbasin-4	.000891	0.1	01Jan2000, 00:17	0.08
Outfall_ExStormSewer	.000891	0.1	01Jan2000, 00:17	0.08

Project: Stonetown Simulation Run: Row,2yr,30min

Start of Run: 01Jan2000, 00:00

Basin Model: Stonetown_RowCro

End of Run: 01Jan2000, 12:00

Meteorologic Model: 2yr,30min

Compute Time: 26Jan2017, 08:52:51

Control Specifications:30min

Hydrologic Element	Drainage Area (MI ²)	Peak Discharge (CFS)	Time of Peak	Volume (IN)
Subbasin-1	0.0033000	1.0	01Jan2000, 00:16	0.16
Outfall_SmithRoad	0.0033000	1.0	01Jan2000, 00:16	0.16
Subbasin-2	.001	0.3	01Jan2000, 00:16	0.16
Subbasin-3	.000609	0.2	01Jan2000, 00:16	0.16
J1	0.0016090	0.5	01Jan2000, 00:16	0.16
Ditch, Rt130	0.0016090	0.5	01Jan2000, 00:17	0.16
Outfall	0.0016090	0.5	01Jan2000, 00:17	0.16
Subbasin-4	.000781	0.2	01Jan2000, 00:16	0.16
Outfall_ExStormSewer	.000781	0.2	01Jan2000, 00:16	0.16

Project: Stonetown Simulation Run: Row,5yr,30min

Start of Run: 01Jan2000, 00:00

Basin Model: Stonetown_

End of Run: 01Jan2000, 12:00

Meteorologic Model: 5yr, 30min

Compute Time: DATA CHANGED, RECOMPUTE Control Specifications:30min

Hydrologic Element	Drainage Area (MI ²)	Peak Discharge (CFS)	Time of Peak	Volume (IN)
Subbasin-1	0.0033000	1.8	01Jan2000, 00:15	0.28
Outfall_SmithRoad	0.0033000	1.8	01Jan2000, 00:15	0.28
Subbasin-2	.001	0.5	01Jan2000, 00:15	0.28
Subbasin-3	.000609	0.3	01Jan2000, 00:15	0.28
J1	0.0016090	0.9	01Jan2000, 00:15	0.28
Ditch, Rt130	0.0016090	0.9	01Jan2000, 00:16	0.28
Outfall	0.0016090	0.9	01Jan2000, 00:16	0.28
Subbasin-4	.000781	0.4	01Jan2000, 00:15	0.28
Outfall_ExStormSewer	.000781	0.4	01Jan2000, 00:15	0.28

Section 3

Dry Basin_upper

Elevation	Area (sq ft)	Area (acres)
735.5	99	0.002
736	1952.3	0.045
737	4305.1	0.099
738	5206.16	0.120
739	6200.6	0.142

Dry Basin_lower

Elevation	Area (sq ft)	Area (acres)
735	454	0.010
736	810.8	0.019

Stonetown_Proposed.basin

Basin: Stonetown_Proposed
Last Modified Date: 26 January 2017
Last Modified Time: 17:12:53
Version: 4.1
Filepath Separator: \
Unit System: English
Missing Flow To Zero: No
Enable Flow Ratio: No
Compute Local Flow At Junctions: No

Enable Sediment Routing: No

Enable Quality Routing: No
End:

Subbasin: Area G
Last Modified Date: 25 January 2017
Last Modified Time: 18:36:47
Canvas X: -2707.964601769912
Canvas Y: -1548.6725663716816
Area: .00086567
Downstream: R9

Canopy: None
Plant Uptake Method: None

Surface: None

LossRate: SCS
Percent Impervious Area: 36
Curve Number: 82.6

Transform: Clark
Time of Concentration: 0.0833
Storage Coefficient: 0.0555
Time Area Method: Default

Baseflow: None
End:

Reach: R9
Last Modified Date: 24 January 2017
Last Modified Time: 20:50:05
Canvas X: 442.47787610619434
Canvas Y: 345.1327433628321
From Canvas X: -2654.867256637168
From Canvas Y: -1584.070796460177
Downstream: I4

Route: Muskingum Cunge
Channel: Triangular
Length: 240
Energy Slope: 0.025
Mannings n: 0.03
Side Slope: 5
Use Variable Time Step: No
Channel Loss: None
End:

Subbasin: Area I
Last Modified Date: 23 January 2017
Last Modified Time: 20:23:11
Canvas X: -70.79646017699179

Stonetown_Proposed.basin

Canvas Y: -1814.1592920353978
Area: .000482057
Downstream: I6

Canopy: None
Plant Uptake Method: None

Surface: None

LossRate: SCS
Percent Impervious Area: 42
Curve Number: 84.4

Transform: Clark
Time of Concentration: 0.0833
Storage Coefficient: 0.0555
Time Area Method: Default

Baseflow: None

End:

Subbasin: Area J

Last Modified Date: 25 January 2017
Last Modified Time: 21:06:41
Canvas X: 1486.7256637168139
Canvas Y: -1884.9557522123896
Area: .000316241
Downstream: I7

Canopy: None
Plant Uptake Method: None

Surface: None

LossRate: SCS
Percent Impervious Area: 50
Curve Number: 85.8

Transform: Clark
Time of Concentration: 0.0833
Storage Coefficient: 0.0555
Time Area Method: Default

Baseflow: None

End:

Junction: I7

Last Modified Date: 23 January 2017
Last Modified Time: 17:27:57
Canvas X: 1451.3274336283184
Canvas Y: -1000.0
Downstream: R5

End:

Reach: R5

Last Modified Date: 24 January 2017
Last Modified Time: 21:32:45
Canvas X: 513.2743362831852
Canvas Y: -1053.0973451327436
From Canvas X: 1451.3274336283184
From Canvas Y: -1000.0
Downstream: I6

Stonetown_Proposed.basin

Route: Kinematic Wave
Channel: Kinematic Wave
Length: 17
Energy Slope: 0.005
Mannings n: 0.013
Shape: Circular
Number of Subreaches: 2
Width: 1
Channel Loss: None

End:

Junction: I6
Last Modified Date: 23 January 2017
Last Modified Time: 20:07:55
Canvas X: 513.2743362831852
Canvas Y: -1053.0973451327436
Downstream: R4

End:

Reach: R4
Last Modified Date: 24 January 2017
Last Modified Time: 21:32:53
Canvas X: 442.47787610619434
Canvas Y: 345.1327433628321
From Canvas X: 513.2743362831852
From Canvas Y: -1053.0973451327436
Downstream: I4

Route: Kinematic Wave
Channel: Kinematic Wave
Length: 116
Energy Slope: 0.005
Mannings n: 0.013
Shape: Circular
Number of Subreaches: 2
Width: 1
Channel Loss: None

End:

Subbasin: Area F
Last Modified Date: 27 January 2017
Last Modified Time: 00:12:09
Canvas X: -1823.0088495575228
Canvas Y: -539.8230088495575
Area: .000236125
Downstream: I4

Canopy: None
Plant Uptake Method: None

Surface: None

LossRate: SCS
Percent Impervious Area: 60
Curve Number: 87.8

Transform: Clark
Time of Concentration: 0.0833
Storage Coefficient: 0.0555
Time Area Method: Default

Baseflow: None

End:

Stonetown_Proposed.basin

Subbasin: Area K
Last Modified Date: 23 January 2017
Last Modified Time: 17:50:00
Canvas X: -548.6725663716816
Canvas Y: -876.1061946902655
Area: .00017455
Downstream: I4

Canopy: None
Plant Uptake Method: None

Surface: None

LossRate: SCS
Percent Impervious Area: 73
Curve Number: 90.8

Transform: Clark
Time of Concentration: 0.0833
Storage Coefficient: 0.0555
Time Area Method: Default

Baseflow: None

End:

Junction: I4
Last Modified Date: 24 January 2017
Last Modified Time: 20:39:31
Canvas X: 442.47787610619434
Canvas Y: 345.1327433628321
Downstream: R3

End:

Reach: R3
Last Modified Date: 24 January 2017
Last Modified Time: 21:32:59
Canvas X: 424.77876106194617
Canvas Y: 1070.7964601769913
From Canvas X: 442.47787610619434
From Canvas Y: 345.1327433628321
Downstream: I3

Route: Kinematic Wave
Channel: Kinematic Wave
Length: 35
Energy Slope: 0.005
Mannings n: 0.013
Shape: Circular
Number of Subreaches: 2
Width: 1
Channel Loss: None

End:

Subbasin: Area L
Last Modified Date: 27 January 2017
Last Modified Time: 00:10:05
Canvas X: 2452.2292993630563
Canvas Y: 955.4140127388532
Area: .000652606
Downstream: R10

Canopy: None

Stonetown_Proposed.basin

Plant Uptake Method: None

Surface: None

LossRate: SCS
Percent Impervious Area: 50
Curve Number: 86.2

Transform: Clark
Time of Concentration: 0.0833
Storage Coefficient: 0.0555
Time Area Method: Default

Baseflow: None

End:

Reach: R10

Last Modified Date: 27 January 2017
Last Modified Time: 00:13:25
Canvas X: 424.77876106194617
Canvas Y: 1070.7964601769913
From Canvas X: 2452.229299363057
From Canvas Y: 923.5668789808915
Downstream: I3

Route: Kinematic Wave
Channel: Kinematic Wave
Length: 39
Energy Slope: 0.0025
Mannings n: 0.013
Shape: Circular
Number of Subreaches: 2
Width: 1
Channel Loss: None

End:

Subbasin: Area D

Last Modified Date: 27 January 2017
Last Modified Time: 00:11:52
Canvas X: -4152.854511970534
Canvas Y: -506.4456721915285
Area: .000191005
Downstream: I2

Canopy: None
Plant Uptake Method: None

Surface: None

LossRate: SCS
Percent Impervious Area: 58
Curve Number: 87

Transform: Clark
Time of Concentration: 0.0833
Storage Coefficient: 0.0555
Time Area Method: Default

Baseflow: None

End:

Junction: I2

Last Modified Date: 23 January 2017

Stonetown_Proposed.basin

Last Modified Time: 17:25:08
Canvas X: -3026.548672566372
Canvas Y: -79.64601769911496
Downstream: R2

End:

Reach: R2

Last Modified Date: 27 January 2017
Last Modified Time: 00:12:58
Canvas X: -3026.548672566372
Canvas Y: 610.6194690265484
From Canvas X: -3026.548672566372
From Canvas Y: -79.64601769911496
Downstream: I1

Route: Kinematic Wave
Channel: Kinematic Wave
Length: 17
Energy Slope: 0.02
Mannings n: 0.013
Shape: Circular
Number of Subreaches: 2
Width: 1
Channel Loss: None

End:

Subbasin: Area C

Last Modified Date: 27 January 2017
Last Modified Time: 00:11:03
Canvas X: -4410.681399631676
Canvas Y: 451.19705340699784
Area: .000171918
Downstream: I1

Canopy: None
Plant Uptake Method: None

Surface: None

LossRate: SCS
Percent Impervious Area: 73
Curve Number: 90.6

Transform: Clark
Time of Concentration: 0.0833
Storage Coefficient: 0.0555
Time Area Method: Default

Baseflow: None

End:

Junction: I1

Last Modified Date: 23 January 2017
Last Modified Time: 19:04:33
Canvas X: -3026.548672566372
Canvas Y: 610.6194690265484
Downstream: R1

End:

Reach: R1

Last Modified Date: 27 January 2017
Last Modified Time: 00:13:06
Canvas X: 424.77876106194617

Stonetown_Proposed.basin

Canvas Y: 1070.7964601769913
From Canvas X: -3026.548672566372
From Canvas Y: 610.6194690265484
Downstream: I3

Route: Kinematic Wave
Channel: Kinematic Wave
Length: 156
Energy Slope: 0.02
Mannings n: 0.013
Shape: Circular
Number of Subreaches: 2
Width: 1
Channel Loss: None

End:

Subbasin: Area E

Last Modified Date: 27 January 2017
Last Modified Time: 00:11:28
Canvas X: -2977.707006369428
Canvas Y: 1480.8917197452224
Area: .000221602
Downstream: I3

Canopy: None
Plant Uptake Method: None

Surface: None

LossRate: SCS
Percent Impervious Area: 57
Curve Number: 87.9

Transform: Clark
Time of Concentration: 0.0833
Storage Coefficient: 0.0555
Time Area Method: Default

Baseflow: None

End:

Junction: I3

Last Modified Date: 25 January 2017
Last Modified Time: 22:48:56
Canvas X: 424.77876106194617
Canvas Y: 1070.7964601769913
Downstream: R6

End:

Reach: R6

Last Modified Date: 27 January 2017
Last Modified Time: 00:13:38
Canvas X: 1061.9469026548668
Canvas Y: 3318.5840707964603
From Canvas X: 424.77876106194617
From Canvas Y: 1070.7964601769913
Downstream: DryBasin_upper

Route: Kinematic Wave
Channel: Kinematic Wave
Length: 46
Energy Slope: 0.0025
Mannings n: 0.013

Stonetown_Proposed.basin

Shape: Circular
Number of Subreaches: 2
Width: 1
Channel Loss: None

End:

Subbasin: Area B

Last Modified Date: 26 January 2017
Last Modified Time: 14:37:57
Canvas X: -445.859872611466
Canvas Y: 2213.3757961783435
Label X: 0.0
Label Y: -1.0
Area: .000687117
Downstream: DryBasin_upper

Canopy: None
Plant Uptake Method: None

Surface: None

LossRate: SCS
Percent Impervious Area: 18
Curve Number: 78.3

Transform: Clark
Time of Concentration: 0.0833
Storage Coefficient: 0.0555
Time Area Method: Default

Baseflow: None

End:

Subbasin: Area A

Last Modified Date: 23 January 2017
Last Modified Time: 17:41:21
Canvas X: -3999.9999999999995
Canvas Y: 1831.858407079646
Area: .00033435
Downstream: Head_of_swale

Canopy: None
Plant Uptake Method: None

Surface: None

LossRate: SCS
Percent Impervious Area: 29
Curve Number: 81

Transform: Clark
Time of Concentration: 0.0833
Storage Coefficient: 0.0555
Time Area Method: Default

Baseflow: None

End:

Junction: Head_of_swale

Last Modified Date: 23 January 2017
Last Modified Time: 17:22:06
Canvas X: -3222.836095764272
Canvas Y: 2955.8011049723755

Stonetown_Proposed.basin

Label X: -54.0
 Label Y: 21.0
 Downstream: Swale

End:

Reach: Swale

Last Modified Date: 26 January 2017
 Last Modified Time: 17:23:54
 Canvas X: 1061.9469026548668
 Canvas Y: 3318.5840707964603
 From Canvas X: -3222.836095764272
 From Canvas Y: 2955.8011049723755
 Label X: -31.0
 Label Y: 14.0
 Downstream: DryBasin_upper

Route: Muskingum Cunge
 Channel: Triangular
 Length: 143
 Energy Slope: 0.0228
 Mannings n: 0.027
 Side Slope: 3
 Use Variable Time Step: No
 Channel Loss: Percolation
 Channel Loss Percolation Rate: 0
 End Channel Loss:

End:

Reservoir: DryBasin_upper

Last Modified Date: 26 January 2017
 Last Modified Time: 18:50:46
 Canvas X: 1061.9469026548668
 Canvas Y: 3318.5840707964603
 Label X: -52.0
 Label Y: 23.0
 Downstream: Outfall_B

Route: Controlled Outflow
 Routing Curve: Elevation-Area
 Initial Elevation: 735.5
 Elevation-Area Table: DryBasin_upper
 Adaptive Control: On
 Main Tailwater Condition: None
 Auxiliary Tailwater Condition: None

Conduit: Culvert
 Conduit Outlet: Main
 Culvert Shape: Circular
 Chart Number: 1
 Scale Number: 1
 Solution Control: Automatic
 Diameter: 0.25
 Number Barrels: 1
 Culvert Length: 50
 Entrance Loss Coefficient: 0.5
 Exit Loss Coefficient: 0.5
 Top Manning's n: 0.013
 Inlet Invert Elevation: 735.5
 Outlet Invert Elevation: 734.7
 End Conduit:

Conduit: Culvert
 Conduit Outlet: Auxiliary

Stonetown_Proposed.basin

Culvert Shape: Circular
Chart Number: 1
Scale Number: 1
Solution Control: Automatic
Diameter: 0.8333
Number Barrels: 1
Culvert Length: 50
Entrance Loss Coefficient: 0.5
Exit Loss Coefficient: 0.5
Top Manning's n: 0.013
Inlet Invert Elevation: 738.85
Outlet Invert Elevation: 738.05
End Conduit:

Spillway: Broad-Crested Spillway
Spillway Outlet: Auxiliary
Spillway Crest Length: 100
Spillway Crest Elevation: 738.9
Spillway Coefficient: 0.62
End Spillway:

Evaporation Method: Zero Evaporation
End Evaporation:

End:

Junction: Outfall_B
Last Modified Date: 25 January 2017
Last Modified Time: 21:13:43
Canvas X: 3471.3375796178334
Canvas Y: 4713.375796178344

End:

Subbasin: Area Q
Last Modified Date: 27 January 2017
Last Modified Time: 00:10:31
Canvas X: 2181.5286624203827
Canvas Y: 2133.7579617834394
Area: .000305495
Downstream: I8

Canopy: None
Plant Uptake Method: None

Surface: None

LossRate: SCS
Percent Impervious Area: 0.35
Curve Number: 82.2

Transform: Clark
Time of Concentration: 0.0833
Storage Coefficient: 0.0555
Time Area Method: Default

Baseflow: None

End:

Junction: I8
Last Modified Date: 25 January 2017
Last Modified Time: 22:48:46
Canvas X: 2802.5477707006366
Canvas Y: 2914.012738853503
Downstream: R7

Stonetown_Proposed.basin

End:

Reach: R7

Last Modified Date: 25 January 2017
Last Modified Time: 22:47:56
Canvas X: 2484.0764331210203
Canvas Y: 3598.726114649681
From Canvas X: 2802.5477707006366
From Canvas Y: 2914.012738853503
Downstream: I9

Route: Kinematic Wave
Channel: Kinematic Wave
Length: 17
Energy Slope: 0.005
Mannings n: 0.013
Shape: Circular
Number of Subreaches: 2
Width: 1
Channel Loss: None

End:

Subbasin: Area N

Last Modified Date: 25 January 2017
Last Modified Time: 22:47:49
Canvas X: 1767.5159235668789
Canvas Y: 2802.5477707006366
Area: .0000915619
Downstream: I9

Canopy: None
Plant Uptake Method: None

Surface: None

LossRate: SCS
Percent Impervious Area: 100
Curve Number: 98.3

Transform: Clark
Time of Concentration: 0.0833
Storage Coefficient: 0.0555
Time Area Method: Default

Baseflow: None

End:

Junction: I9

Last Modified Date: 25 January 2017
Last Modified Time: 22:47:54
Canvas X: 2484.0764331210203
Canvas Y: 3598.726114649681
Downstream: R8

End:

Reach: R8

Last Modified Date: 27 January 2017
Last Modified Time: 00:14:03
Canvas X: 3558.9171974522287
Canvas Y: 4235.668789808917
From Canvas X: 2484.0764331210203
From Canvas Y: 3598.726114649681
Downstream: DryBasin_lower

Stonetown_Proposed.basin

Route: Kinematic Wave
 Channel: Kinematic Wave
 Length: 6
 Energy Slope: 0.005
 Mannings n: 0.013
 Shape: Circular
 Number of Subreaches: 2
 Width: 1
 Channel Loss: None

End:

Subbasin: Area R

Last Modified Date: 26 January 2017
 Last Modified Time: 14:39:26
 Canvas X: 3359.872611464968
 Canvas Y: 3487.261146496815
 Area: .000193723
 Downstream: DryBasin_lower

Canopy: None
 Plant Uptake Method: None

Surface: None

LossRate: SCS
 Percent Impervious Area: 0.0833
 Curve Number: 76.3

Transform: Clark
 Time of Concentration: 0.0833
 Storage Coefficient: 0.0555
 Time Area Method: Default

Baseflow: None

End:

Reservoir: DryBasin_lower

Last Modified Date: 27 January 2017
 Last Modified Time: 00:14:03
 Canvas X: 3558.9171974522287
 Canvas Y: 4235.668789808917
 Downstream: Outfall_M

Route: Controlled Outflow
 Routing Curve: Elevation-Area
 Initial Elevation: 735
 Elevation-Area Table: DryBasin_lower
 Adaptive Control: On
 Main Tailwater Condition: None
 Auxiliary Tailwater Condition: None

Conduit: Culvert
 Conduit Outlet: Main
 Culvert Shape: Circular
 Chart Number: 55
 Scale Number: 1
 Solution Control: Automatic
 Diameter: 0.33
 Number Barrels: 1
 Culvert Length: 52
 Entrance Loss Coefficient: 0.5
 Exit Loss Coefficient: 0.5

Stonetown_Proposed.basin

Top Manning's n: 0.015
Inlet Invert Elevation: 735
Outlet Invert Elevation: 732
End Conduit:

Spillway: Broad-Crested Spillway
Spillway Outlet: Main
Spillway Crest Length: 8
Spillway Crest Elevation: 735.75
Spillway Coefficient: 0.65
End Spillway:

Evaporation Method: Zero Evaporation
End Evaporation:

End:

Subbasin: Area M

Last Modified Date: 26 January 2017
Last Modified Time: 17:13:03
Canvas X: 3598.726114649681
Canvas Y: -684.7133757961792
Area: .00054794
Downstream: Reach-1

Canopy: None
Plant Uptake Method: None

Surface: None

LossRate: SCS
Percent Impervious Area: 14
Curve Number: 76.7

Transform: Clark
Time of Concentration: 0.0833
Storage Coefficient: 0.0555
Time Area Method: Default

Baseflow: None

End:

Reach: Reach-1

Last Modified Date: 26 January 2017
Last Modified Time: 17:16:58
Canvas X: 5433.62831858407
Canvas Y: 946.9026548672568
From Canvas X: 3542.993630573248
From Canvas Y: -684.7133757961792
Downstream: Outfall_M

Route: Muskingum Cunge
Channel: Triangular
Length: 340
Energy Slope: 0.0265
Mannings n: 0.03
Side Slope: 3
Use Variable Time Step: No
Channel Loss: Percolation
Channel Loss Percolation Rate: 5
End Channel Loss:

End:

Subbasin: Area P

Stonetown_Proposed.basin

Last Modified Date: 26 January 2017
Last Modified Time: 14:38:28
Canvas X: 3821.656050955414
Canvas Y: 2579.617834394904
Area: .000197936
Downstream: Outfall_M

Canopy: None
Plant Uptake Method: None

Surface: None

LossRate: SCS
Percent Impervious Area: 23
Curve Number: 79.2

Transform: Clark
Time of Concentration: 0.0833
Storage Coefficient: 0.0555
Time Area Method: Default

Baseflow: None

End:

Subbasin: Area O

Last Modified Date: 25 January 2017
Last Modified Time: 22:50:28
Canvas X: 3519.108280254778
Canvas Y: 1735.6687898089167
Area: .000126872
Downstream: Outfall_M

Canopy: None
Plant Uptake Method: None

Surface: None

LossRate: SCS
Percent Impervious Area: 38
Curve Number: 82.3

Transform: Clark
Time of Concentration: 0.0833
Storage Coefficient: 0.0555
Time Area Method: Default

Baseflow: None

End:

Junction: Outfall_M

Last Modified Date: 26 January 2017
Last Modified Time: 17:13:11
Canvas X: 5433.62831858407
Canvas Y: 946.9026548672568

End:

Subbasin: Area H

Last Modified Date: 26 January 2017
Last Modified Time: 17:07:26
Canvas X: -254.77707006369474
Canvas Y: -3121.0191082802558
Area: .00013065
Downstream: Outfall_H

Stonetown_Proposed.basin

Canopy: None
Plant Uptake Method: None

Surface: None

LossRate: SCS
Percent Impervious Area: 100
Curve Number: 98

Transform: Clark
Time of Concentration: 0.0833
Storage Coefficient: 0.0555
Time Area Method: Default

Baseflow: None

End:

Junction: Outfall_H

Last Modified Date: 23 January 2017
Last Modified Time: 20:08:06
Canvas X: 4378.980891719744
Canvas Y: -3025.47770700637

End:

Basin Schematic Properties:

Last View N: 5000.0
Last View S: -5000.0
Last View W: -5000.0
Last View E: 5000.0
Maximum View N: 5000.0
Maximum View S: -5000.0
Maximum View W: -5000.0
Maximum View E: 5000.0
Extent Method: Elements
Buffer: 0
Draw Icons: Yes
Draw Icon Labels: Name
Draw Map Objects: No
Draw Gridlines: No
Draw Flow Direction: No
Fix Element Locations: No
Fix Hydrologic Order: No

End:

Project: Stonetown Simulation Run: Pr,1yr,30min

Start of Run: 01Jan2000, 00:00 Basin Model: Stonetown_Propose
 End of Run: 01Jan2000, 12:00 Meteorologic Model: 1yr,30min
 Compute Time: 26Jan2017, 18:17:06 Control Specifications:30min

Hydrologic Element	Drainage Area (MI ²)	Peak Discharge (CFS)	Time of Peak	Volume (IN)
Area G	.00086567	0.7	01Jan2000, 00:08	0.39
R9	.00086567	0.7	01Jan2000, 00:09	0.39
Area I	.000482057	0.5	01Jan2000, 00:08	0.45
Area J	.000316241	0.4	01Jan2000, 00:08	0.53
I7	.000316241	0.4	01Jan2000, 00:08	0.53
R5	.000316241	0.4	01Jan2000, 00:08	0.53
I6	.000798298	0.8	01Jan2000, 00:08	0.48
R4	.000798298	0.8	01Jan2000, 00:08	0.48
Area F	.000236125	0.3	01Jan2000, 00:08	0.63
Area K	.00017455	0.3	01Jan2000, 00:08	0.74
I4	0.0020746	2.2	01Jan2000, 00:09	0.48
R3	0.0020746	2.2	01Jan2000, 00:09	0.48
Area L	.000652606	0.8	01Jan2000, 00:08	0.53
R10	.000652606	0.8	01Jan2000, 00:08	0.53
Area D	.000191005	0.3	01Jan2000, 00:08	0.60
I2	.000191005	0.3	01Jan2000, 00:08	0.60
R2	.000191005	0.3	01Jan2000, 00:08	0.60
Area C	.000171918	0.3	01Jan2000, 00:08	0.74
I1	.000362923	0.6	01Jan2000, 00:08	0.67
R1	.000362923	0.6	01Jan2000, 00:08	0.67
Area E	.000221602	0.3	01Jan2000, 00:08	0.60
I3	0.0033118	3.8	01Jan2000, 00:09	0.52
R6	0.0033118	3.8	01Jan2000, 00:09	0.52
Area B	.000687117	0.3	01Jan2000, 00:07	0.20
Area A	.00033435	0.2	01Jan2000, 00:07	0.31
Head_of_Swale	.00033435	0.2	01Jan2000, 00:07	0.31
Swale	.00033435	0.2	01Jan2000, 00:09	0.31

Hydrologic Element	Drainage Area (MI ²)	Peak Discharge (CFS)	Time of Peak	Volume (IN)
DryBasin_upper	0.0043332	0.2	01Jan2000, 00:40	0.45
Outfall_B	0.0043332	0.2	01Jan2000, 00:40	0.45
Area Q	.000305495	0.0	01Jan2000, 00:17	0.09
I8	.000305495	0.0	01Jan2000, 00:17	0.09
R7	.000305495	0.0	01Jan2000, 00:17	0.09
Area N	.0000915619	0.2	01Jan2000, 00:07	0.91
I9	.0003970569	0.2	01Jan2000, 00:08	0.28
R8	.0003970569	0.2	01Jan2000, 00:08	0.28
Area R	.000193723	0.0	01Jan2000, 00:27	0.03
DryBasin_lower	.0005907799	0.1	01Jan2000, 00:30	0.19
Area M	.00054794	0.2	01Jan2000, 00:07	0.15
Reach-1	.00054794	0.1	01Jan2000, 00:11	0.09
Area P	.000197936	0.1	01Jan2000, 00:07	0.25
Area O	.000126872	0.1	01Jan2000, 00:08	0.40
Outfall_M	0.0014635	0.3	01Jan2000, 00:10	0.18
Area H	.00013065	0.3	01Jan2000, 00:07	0.91
Outfall_H	.00013065	0.3	01Jan2000, 00:07	0.91

Project: Stonetown Simulation Run: Pr,2yr,30min

Start of Run: 01Jan2000, 00:00 Basin Model: Stonetown_Propose
 End of Run: 01Jan2000, 12:00 Meteorologic Model: 2yr,30min
 Compute Time: 26Jan2017, 18:17:38 Control Specifications:30min

Hydrologic Element	Drainage Area (MI ²)	Peak Discharge (CFS)	Time of Peak	Volume (IN)
Area G	.00086567	0.9	01Jan2000, 00:08	0.51
R9	.00086567	0.9	01Jan2000, 00:10	0.51
Area I	.000482057	0.6	01Jan2000, 00:09	0.59
Area J	.000316241	0.5	01Jan2000, 00:08	0.68
I7	.000316241	0.5	01Jan2000, 00:08	0.68
R5	.000316241	0.5	01Jan2000, 00:08	0.68
I6	.000798298	1.1	01Jan2000, 00:08	0.62
R4	.000798298	1.1	01Jan2000, 00:09	0.63
Area F	.000236125	0.4	01Jan2000, 00:08	0.79
Area K	.00017455	0.4	01Jan2000, 00:08	0.93
I4	0.0020746	2.7	01Jan2000, 00:09	0.62
R3	0.0020746	2.7	01Jan2000, 00:09	0.62
Area L	.000652606	1.0	01Jan2000, 00:08	0.69
R10	.000652606	1.0	01Jan2000, 00:09	0.69
Area D	.000191005	0.3	01Jan2000, 00:08	0.76
I2	.000191005	0.3	01Jan2000, 00:08	0.76
R2	.000191005	0.3	01Jan2000, 00:08	0.76
Area C	.000171918	0.4	01Jan2000, 00:08	0.92
I1	.000362923	0.7	01Jan2000, 00:08	0.84
R1	.000362923	0.7	01Jan2000, 00:08	0.84
Area E	.000221602	0.4	01Jan2000, 00:08	0.77
I3	0.0033118	4.8	01Jan2000, 00:09	0.67
R6	0.0033118	4.8	01Jan2000, 00:09	0.67
Area B	.000687117	0.3	01Jan2000, 00:08	0.28
Area A	.00033435	0.3	01Jan2000, 00:08	0.42
Head_of_Swale	.00033435	0.3	01Jan2000, 00:08	0.42
Swale	.00033435	0.3	01Jan2000, 00:10	0.42

Hydrologic Element	Drainage Area (MI ²)	Peak Discharge (CFS)	Time of Peak	Volume (IN)
DryBasin_upper	0.0043332	0.2	01Jan2000, 00:41	0.58
Outfall_B	0.0043332	0.2	01Jan2000, 00:41	0.58
Area Q	.000305495	0.1	01Jan2000, 00:16	0.16
I8	.000305495	0.1	01Jan2000, 00:16	0.16
R7	.000305495	0.1	01Jan2000, 00:16	0.16
Area N	.0000915619	0.3	01Jan2000, 00:07	1.11
I9	.0003970569	0.3	01Jan2000, 00:10	0.38
R8	.0003970569	0.3	01Jan2000, 00:10	0.38
Area R	.000193723	0.0	01Jan2000, 00:26	0.07
DryBasin_lower	.0005907799	0.1	01Jan2000, 00:28	0.28
Area M	.00054794	0.2	01Jan2000, 00:07	0.22
Reach-1	.00054794	0.2	01Jan2000, 00:11	0.15
Area P	.000197936	0.1	01Jan2000, 00:08	0.34
Area O	.000126872	0.1	01Jan2000, 00:08	0.52
Outfall_M	0.0014635	0.5	01Jan2000, 00:11	0.26
Area H	.00013065	0.4	01Jan2000, 00:07	1.11
Outfall_H	.00013065	0.4	01Jan2000, 00:07	1.11

Project: Stonetown Simulation Run: Pr,5yr,30min

Start of Run: 01Jan2000, 00:00

Basin Model: Stonetown_Propose

End of Run: 01Jan2000, 12:00

Meteorologic Model: 5yr, 30min

Compute Time: 26Jan2017, 18:18:11

Control Specifications:30min

Hydrologic Element	Drainage Area (MI ²)	Peak Discharge (CFS)	Time of Peak	Volume (IN)
Area G	.00086567	1.2	01Jan2000, 00:09	0.68
R9	.00086567	1.2	01Jan2000, 00:11	0.68
Area I	.000482057	0.8	01Jan2000, 00:09	0.78
Area J	.000316241	0.6	01Jan2000, 00:09	0.89
I7	.000316241	0.6	01Jan2000, 00:09	0.89
R5	.000316241	0.6	01Jan2000, 00:09	0.89
I6	.000798298	1.4	01Jan2000, 00:09	0.82
R4	.000798298	1.4	01Jan2000, 00:09	0.82
Area F	.000236125	0.5	01Jan2000, 00:08	1.01
Area K	.00017455	0.5	01Jan2000, 00:08	1.17
I4	0.0020746	3.6	01Jan2000, 00:09	0.81
R3	0.0020746	3.6	01Jan2000, 00:10	0.81
Area L	.000652606	1.3	01Jan2000, 00:09	0.89
R10	.000652606	1.3	01Jan2000, 00:09	0.89
Area D	.000191005	0.4	01Jan2000, 00:08	0.98
I2	.000191005	0.4	01Jan2000, 00:08	0.98
R2	.000191005	0.4	01Jan2000, 00:08	0.98
Area C	.000171918	0.5	01Jan2000, 00:08	1.17
I1	.000362923	0.9	01Jan2000, 00:08	1.07
R1	.000362923	0.9	01Jan2000, 00:09	1.07
Area E	.000221602	0.5	01Jan2000, 00:08	0.99
I3	0.0033118	6.2	01Jan2000, 00:09	0.87
R6	0.0033118	6.2	01Jan2000, 00:09	0.87
Area B	.000687117	0.5	01Jan2000, 00:11	0.40
Area A	.00033435	0.4	01Jan2000, 00:10	0.57
Head_of_Swale	.00033435	0.4	01Jan2000, 00:10	0.57
Swale	.00033435	0.4	01Jan2000, 00:11	0.58

Hydrologic Element	Drainage Area (MI ²)	Peak Discharge (CFS)	Time of Peak	Volume (IN)
DryBasin_upper	0.0043332	0.2	01Jan2000, 00:41	0.71
Outfall_B	0.0043332	0.2	01Jan2000, 00:41	0.71
Area Q	.000305495	0.2	01Jan2000, 00:15	0.29
I8	.000305495	0.2	01Jan2000, 00:15	0.29
R7	.000305495	0.2	01Jan2000, 00:15	0.29
Area N	.0000915619	0.3	01Jan2000, 00:07	1.37
I9	.0003970569	0.4	01Jan2000, 00:11	0.54
R8	.0003970569	0.4	01Jan2000, 00:11	0.54
Area R	.000193723	0.1	01Jan2000, 00:16	0.15
DryBasin_lower	.0005907799	0.2	01Jan2000, 00:27	0.40
Area M	.00054794	0.3	01Jan2000, 00:12	0.32
Reach-1	.00054794	0.2	01Jan2000, 00:14	0.24
Area P	.000197936	0.2	01Jan2000, 00:10	0.47
Area O	.000126872	0.2	01Jan2000, 00:09	0.70
Outfall_M	0.0014635	0.7	01Jan2000, 00:15	0.38
Area H	.00013065	0.4	01Jan2000, 00:07	1.37
Outfall_H	.00013065	0.4	01Jan2000, 00:07	1.37

Project: Stonetown Simulation Run: Pr,10yr,30min

Start of Run: 01Jan2000, 00:00

Basin Model: Stonetown_Propose

End of Run: 01Jan2000, 12:00

Meteorologic Model: 10yr, 30min

Compute Time: 26Jan2017, 18:18:39

Control Specifications:30min

Hydrologic Element	Drainage Area (MI ²)	Peak Discharge (CFS)	Time of Peak	Volume (IN)
Area G	.00086567	1.5	01Jan2000, 00:10	0.82
R9	.00086567	1.5	01Jan2000, 00:11	0.83
Area I	.000482057	1.0	01Jan2000, 00:09	0.93
Area J	.000316241	0.7	01Jan2000, 00:09	1.05
I7	.000316241	0.7	01Jan2000, 00:09	1.05
R5	.000316241	0.7	01Jan2000, 00:09	1.05
I6	.000798298	1.7	01Jan2000, 00:09	0.98
R4	.000798298	1.7	01Jan2000, 00:09	0.98
Area F	.000236125	0.6	01Jan2000, 00:08	1.19
Area K	.00017455	0.6	01Jan2000, 00:08	1.36
I4	0.0020746	4.3	01Jan2000, 00:10	0.97
R3	0.0020746	4.3	01Jan2000, 00:10	0.97
Area L	.000652606	1.5	01Jan2000, 00:09	1.06
R10	.000652606	1.5	01Jan2000, 00:09	1.06
Area D	.000191005	0.5	01Jan2000, 00:08	1.16
I2	.000191005	0.5	01Jan2000, 00:08	1.16
R2	.000191005	0.5	01Jan2000, 00:08	1.16
Area C	.000171918	0.5	01Jan2000, 00:08	1.35
I1	.000362923	1.0	01Jan2000, 00:08	1.25
R1	.000362923	1.0	01Jan2000, 00:09	1.25
Area E	.000221602	0.6	01Jan2000, 00:08	1.16
I3	0.0033118	7.4	01Jan2000, 00:09	1.03
R6	0.0033118	7.3	01Jan2000, 00:10	1.03
Area B	.000687117	0.6	01Jan2000, 00:11	0.51
Area A	.00033435	0.5	01Jan2000, 00:10	0.70
Head_of_Swale	.00033435	0.5	01Jan2000, 00:10	0.70
Swale	.00033435	0.5	01Jan2000, 00:11	0.71

Hydrologic Element	Drainage Area (MI ²)	Peak Discharge (CFS)	Time of Peak	Volume (IN)
DryBasin_upper	0.0043332	0.2	01Jan2000, 00:42	0.76
Outfall_B	0.0043332	0.2	01Jan2000, 00:42	0.76
Area Q	.000305495	0.2	01Jan2000, 00:14	0.40
I8	.000305495	0.2	01Jan2000, 00:14	0.40
R7	.000305495	0.2	01Jan2000, 00:14	0.40
Area N	.0000915619	0.4	01Jan2000, 00:07	1.57
I9	.0003970569	0.5	01Jan2000, 00:11	0.67
R8	.0003970569	0.5	01Jan2000, 00:11	0.67
Area R	.000193723	0.1	01Jan2000, 00:16	0.22
DryBasin_lower	.0005907799	0.3	01Jan2000, 00:26	0.52
Area M	.00054794	0.4	01Jan2000, 00:12	0.42
Reach-1	.00054794	0.3	01Jan2000, 00:14	0.33
Area P	.000197936	0.2	01Jan2000, 00:11	0.59
Area O	.000126872	0.2	01Jan2000, 00:09	0.84
Outfall_M	0.0014635	0.9	01Jan2000, 00:14	0.49
Area H	.00013065	0.5	01Jan2000, 00:07	1.57
Outfall_H	.00013065	0.5	01Jan2000, 00:07	1.57

Project: Stonetown Simulation Run: Pr,50yr,30min

Start of Run: 01Jan2000, 00:00

Basin Model: Stonetown_Propose

End of Run: 01Jan2000, 12:00

Meteorologic Model: 50yr,30min

Compute Time: 26Jan2017, 18:14:19

Control Specifications:30min

Hydrologic Element	Drainage Area (MI ²)	Peak Discharge (CFS)	Time of Peak	Volume (IN)
Area G	.00086567	2.3	01Jan2000, 00:10	1.28
R9	.00086567	2.3	01Jan2000, 00:11	1.28
Area I	.000482057	1.5	01Jan2000, 00:09	1.42
Area J	.000316241	1.1	01Jan2000, 00:09	1.56
I7	.000316241	1.1	01Jan2000, 00:09	1.56
R5	.000316241	1.1	01Jan2000, 00:09	1.56
I6	.000798298	2.6	01Jan2000, 00:09	1.47
R4	.000798298	2.6	01Jan2000, 00:10	1.47
Area F	.000236125	0.9	01Jan2000, 00:08	1.73
Area K	.00017455	0.8	01Jan2000, 00:08	1.93
I4	0.0020746	6.5	01Jan2000, 00:10	1.46
R3	0.0020746	6.5	01Jan2000, 00:10	1.46
Area L	.000652606	2.3	01Jan2000, 00:09	1.57
R10	.000652606	2.3	01Jan2000, 00:09	1.57
Area D	.000191005	0.7	01Jan2000, 00:08	1.69
I2	.000191005	0.7	01Jan2000, 00:08	1.69
R2	.000191005	0.7	01Jan2000, 00:08	1.69
Area C	.000171918	0.8	01Jan2000, 00:08	1.92
I1	.000362923	1.5	01Jan2000, 00:08	1.80
R1	.000362923	1.5	01Jan2000, 00:09	1.80
Area E	.000221602	0.9	01Jan2000, 00:08	1.70
I3	0.0033118	11.1	01Jan2000, 00:09	1.54
R6	0.0033118	11.1	01Jan2000, 00:10	1.54
Area B	.000687117	1.2	01Jan2000, 00:11	0.87
Area A	.00033435	0.8	01Jan2000, 00:10	1.13
Head_of_Swale	.00033435	0.8	01Jan2000, 00:10	1.13
Swale	.00033435	0.8	01Jan2000, 00:11	1.13

Hydrologic Element	Drainage Area (MI ²)	Peak Discharge (CFS)	Time of Peak	Volume (IN)
DryBasin_upper	0.0043332	0.2	01Jan2000, 00:40	0.88
Outfall_B	0.0043332	0.2	01Jan2000, 00:40	0.88
Area Q	.000305495	0.5	01Jan2000, 00:12	0.77
I8	.000305495	0.5	01Jan2000, 00:12	0.77
R7	.000305495	0.5	01Jan2000, 00:12	0.77
Area N	.0000915619	0.5	01Jan2000, 00:07	2.16
I9	.0003970569	0.9	01Jan2000, 00:10	1.09
R8	.0003970569	0.9	01Jan2000, 00:11	1.09
Area R	.000193723	0.2	01Jan2000, 00:14	0.51
DryBasin_lower	.0005907799	0.6	01Jan2000, 00:20	0.90
Area M	.00054794	0.8	01Jan2000, 00:12	0.75
Reach-1	.00054794	0.7	01Jan2000, 00:13	0.64
Area P	.000197936	0.4	01Jan2000, 00:11	0.98
Area O	.000126872	0.3	01Jan2000, 00:10	1.30
Outfall_M	0.0014635	1.7	01Jan2000, 00:13	0.85
Area H	.00013065	0.7	01Jan2000, 00:07	2.16
Outfall_H	.00013065	0.7	01Jan2000, 00:07	2.16

Project: Stonetown Simulation Run: Pr,100yr,30min

Start of Run: 01Jan2000, 00:00

Basin Model: Stonetown_Propose

End of Run: 01Jan2000, 12:00

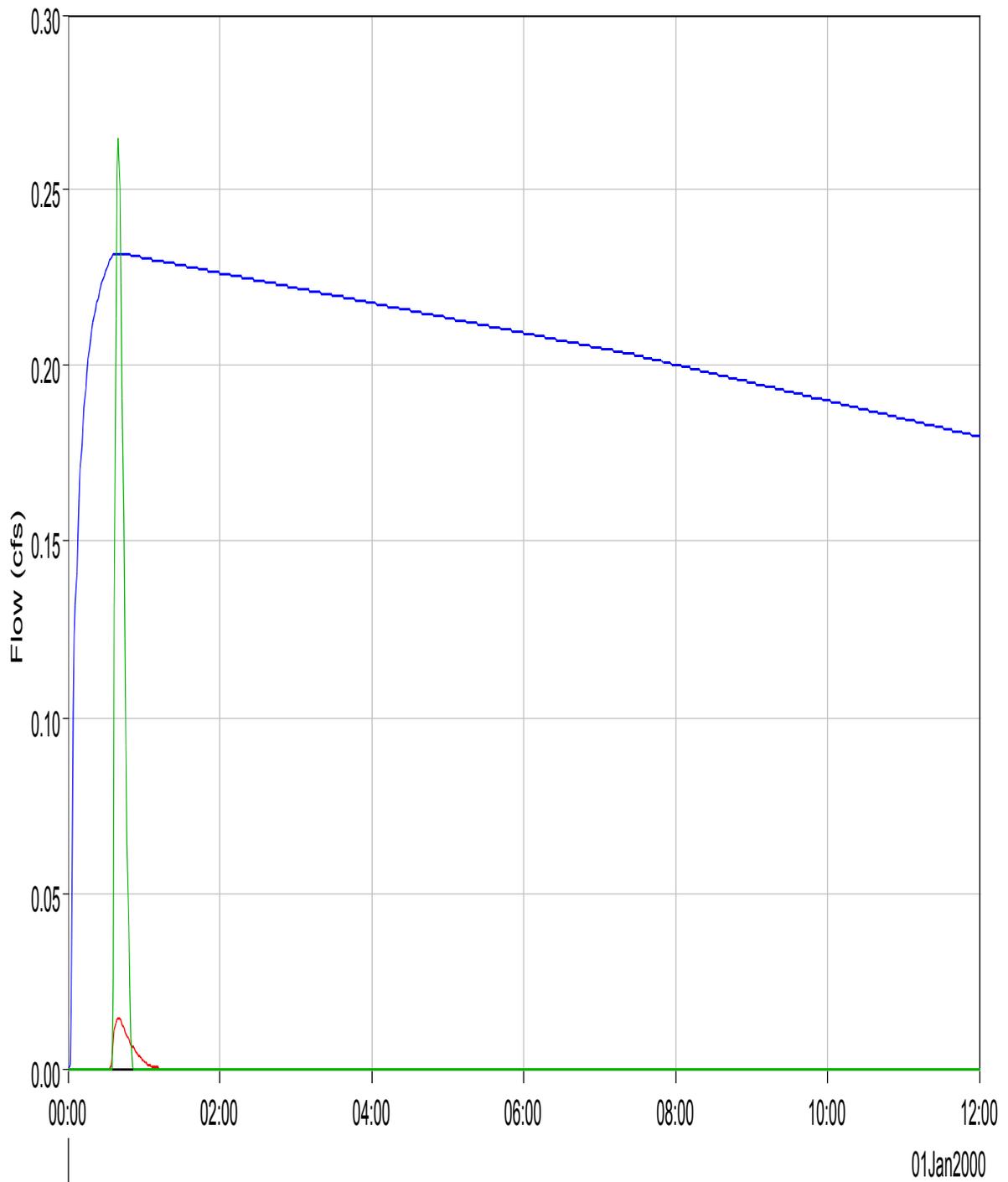
Meteorologic Model: 100yr,30min

Compute Time: 26Jan2017, 18:19:08

Control Specifications:30min

Hydrologic Element	Drainage Area (MI ²)	Peak Discharge (CFS)	Time of Peak	Volume (IN)
Area G	.00086567	2.8	01Jan2000, 00:10	1.52
R9	.00086567	2.8	01Jan2000, 00:11	1.52
Area I	.000482057	1.8	01Jan2000, 00:09	1.67
Area J	.000316241	1.3	01Jan2000, 00:09	1.82
I7	.000316241	1.3	01Jan2000, 00:09	1.82
R5	.000316241	1.3	01Jan2000, 00:09	1.82
I6	.000798298	3.0	01Jan2000, 00:09	1.73
R4	.000798298	3.0	01Jan2000, 00:09	1.73
Area F	.000236125	1.1	01Jan2000, 00:08	2.00
Area K	.00017455	0.9	01Jan2000, 00:08	2.21
I4	0.0020746	7.7	01Jan2000, 00:10	1.71
R3	0.0020746	7.7	01Jan2000, 00:10	1.71
Area L	.000652606	2.7	01Jan2000, 00:09	1.83
R10	.000652606	2.7	01Jan2000, 00:09	1.83
Area D	.000191005	0.9	01Jan2000, 00:08	1.95
I2	.000191005	0.9	01Jan2000, 00:08	1.95
R2	.000191005	0.8	01Jan2000, 00:08	1.95
Area C	.000171918	0.9	01Jan2000, 00:08	2.20
I1	.000362923	1.8	01Jan2000, 00:08	2.07
R1	.000362923	1.7	01Jan2000, 00:09	2.07
Area E	.000221602	1.0	01Jan2000, 00:08	1.97
I3	0.0033118	13.1	01Jan2000, 00:09	1.79
R6	0.0033118	13.0	01Jan2000, 00:10	1.79
Area B	.000687117	1.5	01Jan2000, 00:11	1.07
Area A	.00033435	0.9	01Jan2000, 00:10	1.35
Head_of_Swale	.00033435	0.9	01Jan2000, 00:10	1.35
Swale	.00033435	0.9	01Jan2000, 00:11	1.36

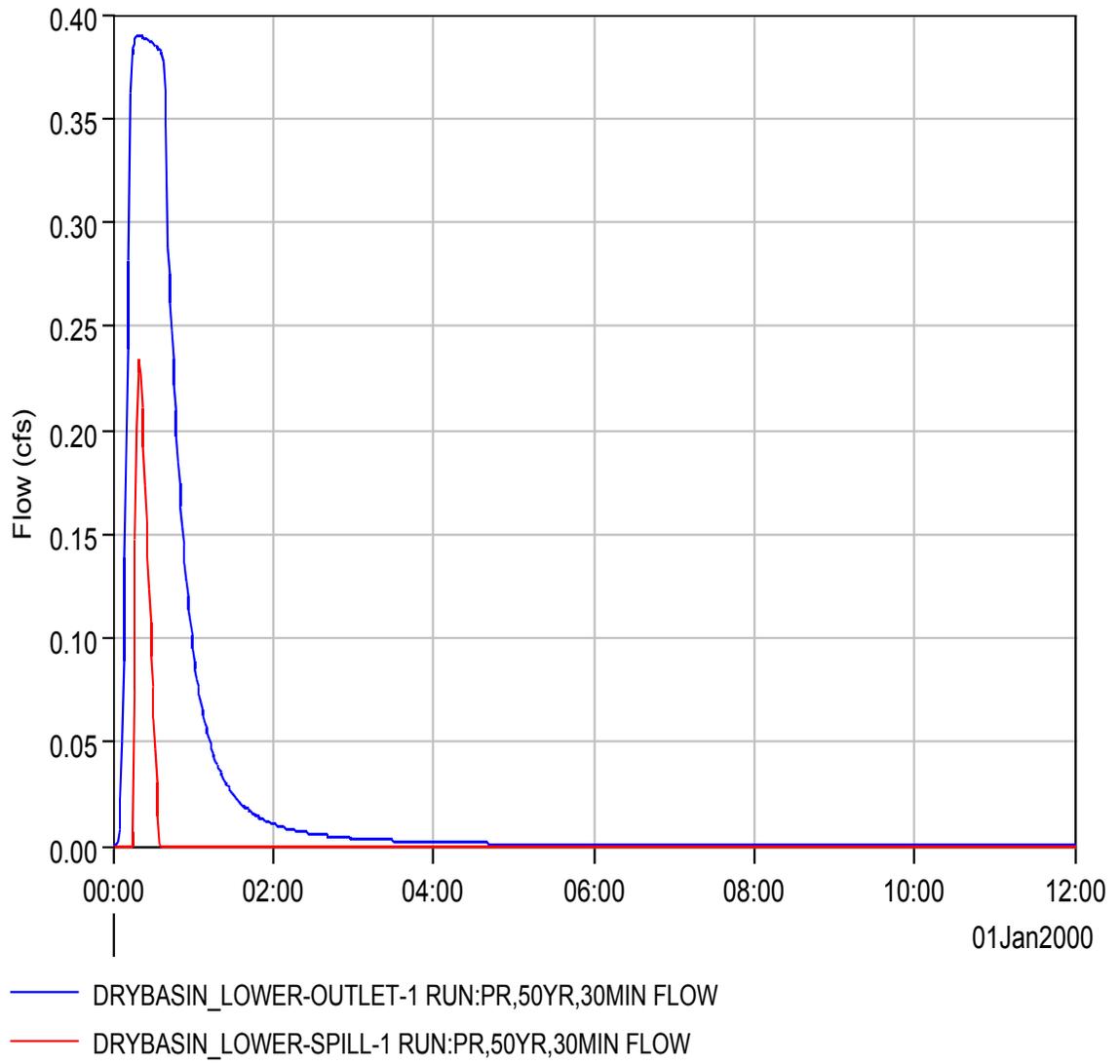
Hydrologic Element	Drainage Area (MI ²)	Peak Discharge (CFS)	Time of Peak	Volume (IN)
DryBasin_upper	0.0043332	0.2	01Jan2000, 00:32	0.89
Outfall_B	0.0043332	0.2	01Jan2000, 00:32	0.89
Area Q	.000305495	0.6	01Jan2000, 00:12	0.98
I8	.000305495	0.6	01Jan2000, 00:12	0.98
R7	.000305495	0.6	01Jan2000, 00:12	0.98
Area N	.0000915619	0.6	01Jan2000, 00:07	2.45
I9	.0003970569	1.1	01Jan2000, 00:10	1.32
R8	.0003970569	1.1	01Jan2000, 00:10	1.32
Area R	.000193723	0.3	01Jan2000, 00:13	0.68
DryBasin_lower	.0005907799	0.9	01Jan2000, 00:18	1.10
Area M	.00054794	1.0	01Jan2000, 00:11	0.94
Reach-1	.00054794	0.9	01Jan2000, 00:13	0.82
Area P	.000197936	0.5	01Jan2000, 00:10	1.19
Area O	.000126872	0.4	01Jan2000, 00:09	1.54
Outfall_M	0.0014635	2.4	01Jan2000, 00:16	1.05
Area H	.00013065	0.8	01Jan2000, 00:07	2.45
Outfall_H	.00013065	0.8	01Jan2000, 00:07	2.45

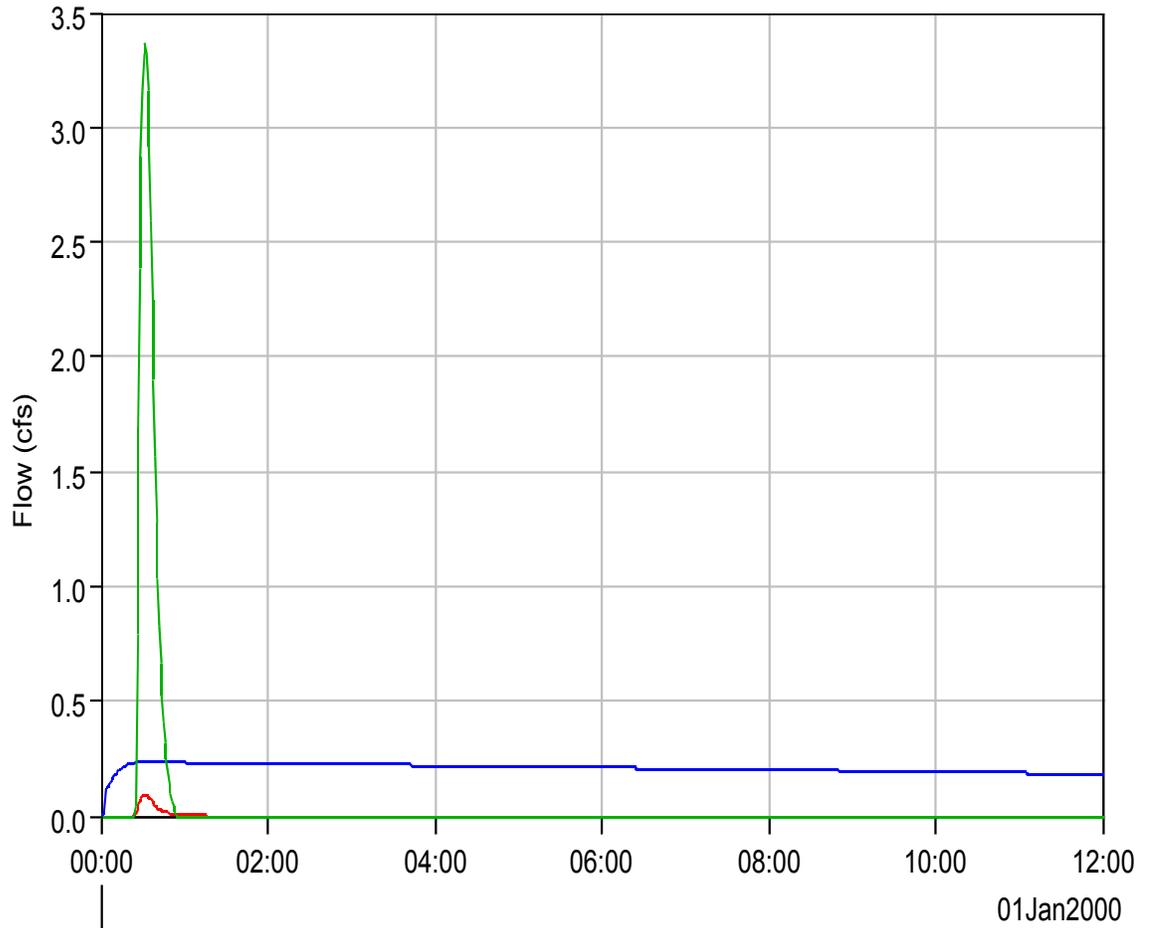


— DRYBASIN_UPPER-OUTLET-1 RUN:PR,50YR,30MIN FLOW

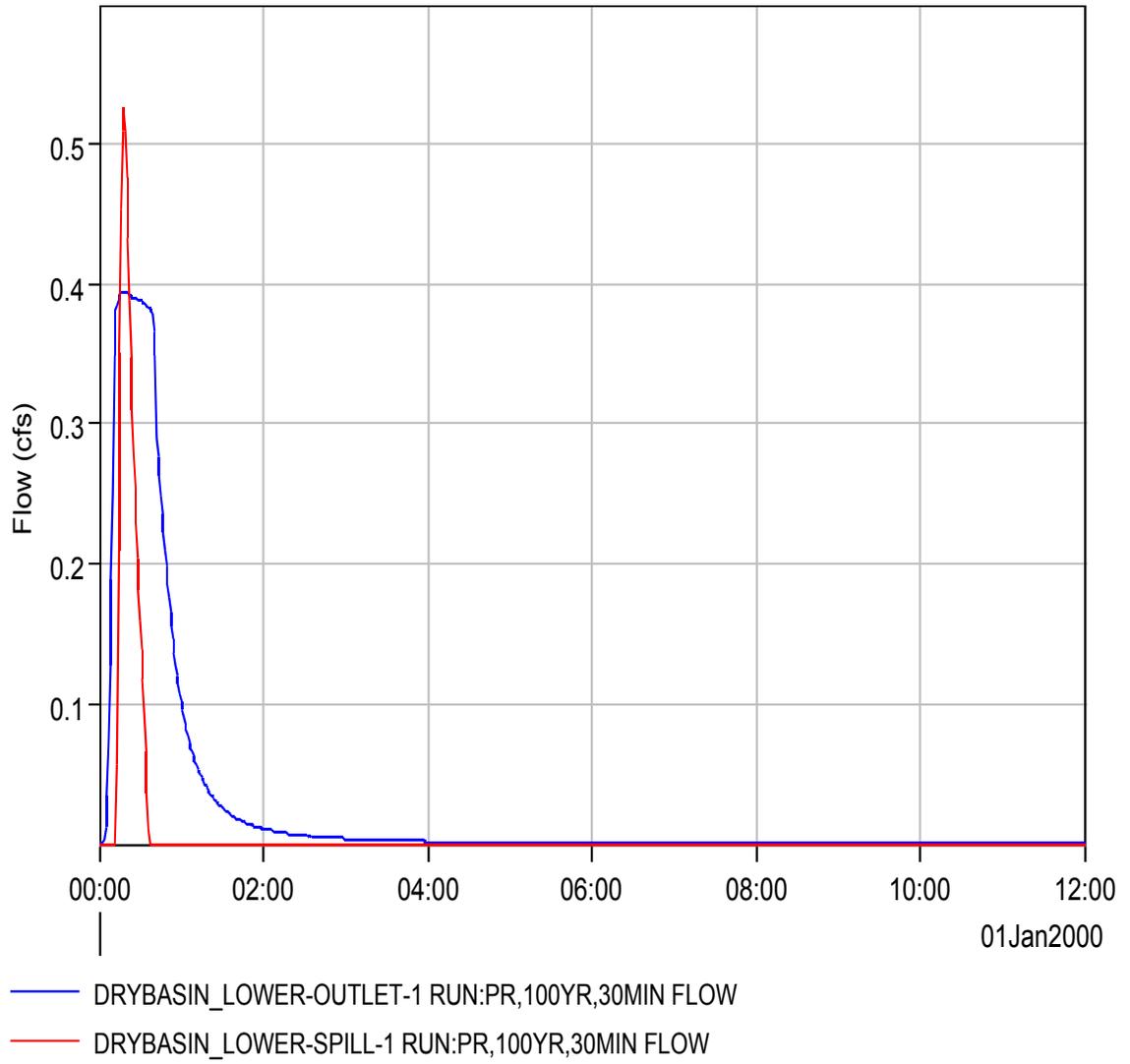
— DRYBASIN_UPPER-OUTLET-2 RUN:PR,50YR,30MIN FLOW

— DRYBASIN_UPPER-SPILL-1 RUN:PR,50YR,30MIN FLOW





- DRYBASIN_UPPER-OUTLET-1 RUN:PR,100YR,30MIN FLOW
- DRYBASIN_UPPER-OUTLET-2 RUN:PR,100YR,30MIN FLOW
- DRYBASIN_UPPER-SPILL-1 RUN:PR,100YR,30MIN FLOW



Susan Chavarria

From: Friend, Mike <mfriend@F-W.com>
Sent: Friday, November 04, 2016 11:56 AM
To: Susan Chavarria
Cc: Meyers, Wes
Subject: Preliminary Sketch Plan- Woodland Acres MHP
Attachments: reduced file size sketch plan 11 3 16.pdf; typical lot size.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

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NOV 04 2016

CHAMPAIGN CO. P & Z DEPARTMENT

Susan,

Thank you for taking time this morning to discuss the potential build-out of the Woodland Acres MHP. I really appreciate your willingness to review the attached Preliminary Sketch Plan . I made several key assumptions in preparing this Preliminary Sketch Plan, as follows:

1. I utilized the Champaign County Zoning ordinance , specifically section 6.2, as guidance for this effort
2. I assumed a 35 foot rear set-back line for lots with a rear lot line on the Rte. 130 ROW
3. I assumed a 25 foot rear set-back for lots with a rear lot line on the Smith Road ROW
4. I assumed a 30 foot wide " ROW" allowance for the " private accessways" within the park, and assumed construction of a 24 foot wide pavement with 3 foot shoulders. (I understand that if we desire to not utilize Curb and Gutter that will require a variance, the 30 foot wide "ROW" will allow for 24 feet of pavement plus 4 feet of curb and gutter) The term "ROW" is used to describe the allowance for a strip of land internal to the Park dedicated for use for internal streets, and will not be true dedicated ROW, as these will be private internal accessways.
5. For this build-out I have assumed adding another site access road location off of Smith Road.
6. The client has indicated that the common home sizes utilized by their company include 16'x66', 16'x76', and 28'x48' . The proposed lots will accommodate those homes with the assumed setbacks.
7. Interior lot setbacks are as noted in section 6.2. 2.E.2 which includes 20' on the entrance side, 10 feet on the rear, 10 feet on the non-entry side, and 15 feet on the front side. As discussed above, where one of the home site lot lines was an exterior public road ROW line, the setback was increased .
8. An allowance for a 10'x20' exterior deck or patio was assumed on the entrance side of the home .
9. An assumption of provision of 2 parking spaces totaling 20'x18' on each lot was assumed
10. We have not routed utilities at this point, assuming that will be a function of the final home lot layout.
11. We have identified that the location for a proposed dry-bottom storm water detention basin will be in the NE corner of the site, and have assumed that this area will be grassed, and could be utilized as a recreation space as well since it will be designed as a dry bottom basin. The outlet will be onto IDOT ROW and be subject to review by IDOT District 6.
12. Other recreation spaces are depicted, which are essentially areas which do not lend themselves to use as a home site due to dimensions and available space. We know that the overall site, which includes the existing developed portion as well as the proposed portion, will need to have designated recreation areas which comply with section 6.2.2.D, which dictates that 8% of the gross park acreage be dedicated to recreation space. No attempt has been made to delineate or account for existing green space on the existing site which would count towards achievement of this requirement at this point.

We appreciate your engagement in the process and want to be sure to provide the data in the most useful format. If you desire hard copies at full scale, just let us know and we will be happy tp provide the sketch plan to the full 1" = 50' scale. The drawing is 36" x 48" in actual dimension. As we discussed, the plat utilized for this sketch plan is still preliminary and is not yet recorded, and was prepared by Burns Clancey and Associates

and is not for public distribution. It was utilized as a base drawing for the purposes of this preliminary sketch plan, and is not final. Please do not distribute the drawing outside of your department, nor consider it final. As you review the sketch please feel free to call with any questions. I believe your suggestion of a meeting after you have performed your review is a good one, and appreciate the opportunity to do so at that time. Thank again Susan.

Mike Friend

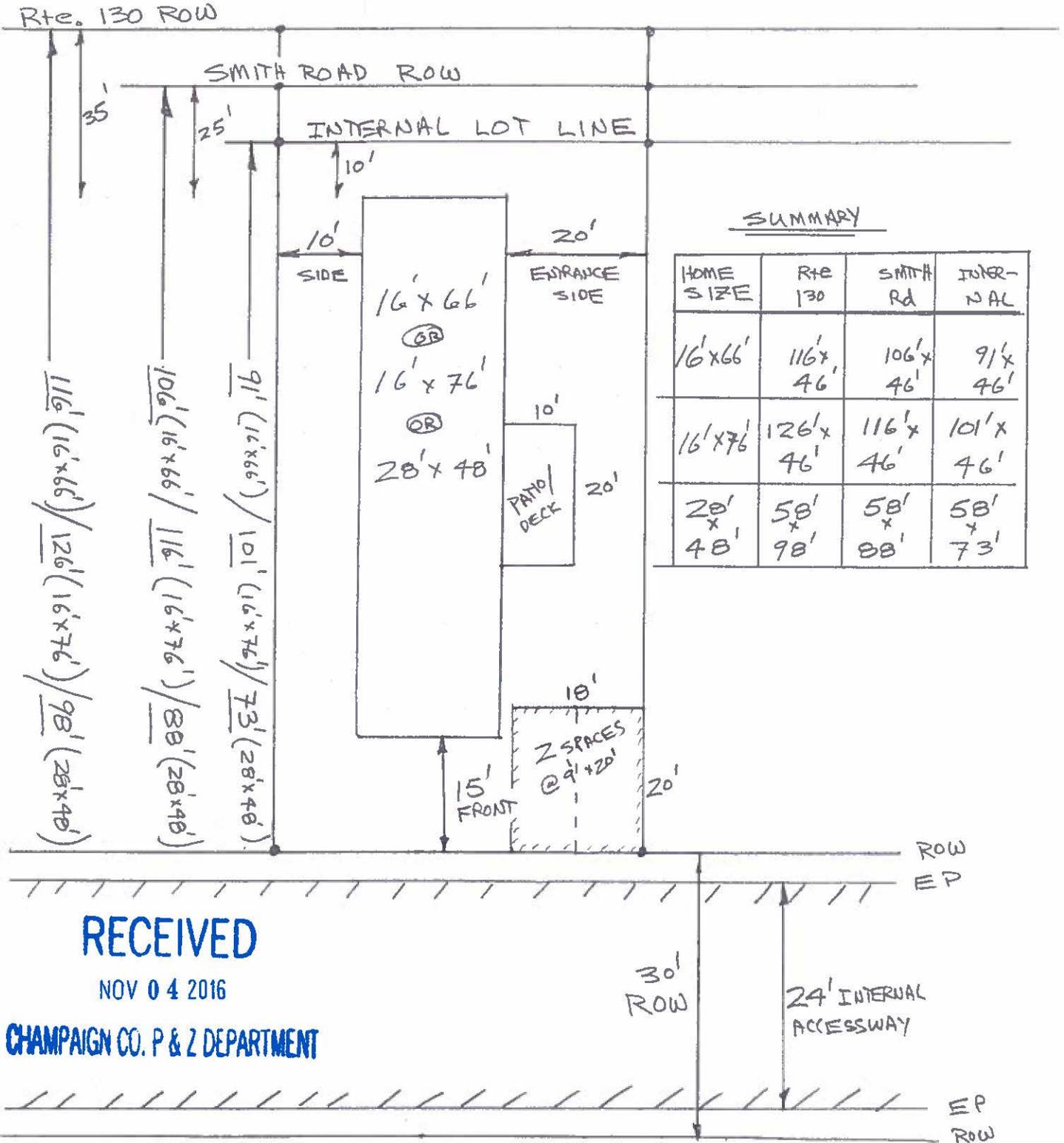
Michael C. Friend PE | Engineering Manager
Farnsworth Group, Inc.
2211 West Bradley Avenue | Champaign, IL 61821
P 217-352-7408, ext. 249 | f 217-352-7409 | c 815-510-2090
www.f-w.com | www.greennavigation.com



Name: ME
Date: 11/7/16
Page: 1 of 1

Project: STONETOWN CAPITAL Project No: 016/332.00
Subject: WOODLAND ACRES - HOME SITES / "TYPICAL"

HOME SITE SIZES
N.T.S.



SUMMARY

HOME SIZE	RTE 130	SMITH Rd	INTERNAL
16' x 66'	116' x 46'	106' x 46'	91' x 46'
16' x 76'	126' x 46'	116' x 46'	101' x 46'
28' x 48'	58' x 98'	58' x 88'	58' x 73'

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CHAMPAIGN CO. P & Z DEPARTMENT

Susan Chavarria

From: Hafer, Rick <Rick.Hafer@Illinois.gov>
Sent: Wednesday, November 09, 2016 5:12 PM
To: Susan Chavarria
Cc: Hawkins, Bruce M.
Subject: WOODLAND ACRES 2 OF 3
Attachments: WOODLAND ACRES PERMIT 1.5.70.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

This permit for what I currently believe was a separate park that when merged with the park described in the first attachment became the current WOODLAND ACRES. The next attachment is a site plan.

RICK HAFER, LEHP
IDPH CHAMPAIGN REGIONAL OFFICE
2125 S. FIRST ST.
CHAMPAIGN, IL 61820
Office (217)278-5900
Cell (217)372-4973

State of Illinois - CONFIDENTIALITY NOTICE: The information contained in this communication is confidential, may be attorney-client privileged or attorney work product, may constitute inside information or internal deliberative staff communication, and is intended only for the use of the addressee. Unauthorized use, disclosure or copying of this communication or any part thereof is strictly prohibited and may be unlawful. If you have received this communication in error, please notify the sender immediately by return e-mail and destroy this communication and all copies thereof, including all attachments. Receipt by an unintended recipient does not waive attorney-client privilege, attorney work product privilege, or any other exemption from disclosure.

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CHAMPAIGN CO. P & Z DEPARTMENT

STATE OF ILLINOIS
WILLIAM G. STRATTON, Governor
DEPARTMENT OF PUBLIC HEALTH
DIVISION OF SANITARY ENGINEERING

SPRINGFIELD

May 10, 1960

URBANA - Wilson Trailer Park
Permit to Construct No. 9 - 1960

Handwritten initials and numbers:
703
77
77

Mr. Rawley Wilson
R. R. #3
Urbana, Illinois

Dear Mr. Wilson:

A permit subject to the conditions following is hereby given to construct a trailer coach park containing 43 independent trailer spaces to be known as the Wilson Trailer Park located on R.R. #3, Urbana, Champaign County, Illinois, all as is shown on an application and plans submitted by you.

Authority for this permit is granted in accordance with the provisions of "An Act in relation to the licensing and regulation of trailer coach parks" (approved July 13, 1953, as amended) and subject to the provisions hereof:

The conditions of permit are:

1. This permit shall not be considered in any manner effecting the title to the premises upon which any of the proposed improvements are to be located.
2. This permit does not in any way release the permittee from any liability for damage to person or property caused by or resulting from installations, maintenance or operation of these improvements, located and constructed in accordance with the plans and specifications herein referred to.
3. The State Department of Public Health, in issuing this permit, has relied upon the statements and representations made by the permittee in the application herefor; and in case any statement or representation in said application is found to be incorrect, this permit may be revoked without further notice, and the permittee thereupon waives all rights thereunder.
4. There shall be no deviations from the plans and specifications

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CHAMPAIGN CO. P & Z DEPARTMENT

submitted with the application for this permit unless revised plans and specifications therefore shall first have been submitted to the State Department of Public Health and a supplemental permit issued therefore.

5. The State Department of Public Health or any person duly authorized by it, may at any time during the progress of the construction or the installation of these improvements or any part thereof under authority hereof have the right and authority to inspect such work during the progress thereof; and such Department or its duly authorized agent shall have the authority any time and all times after the erection or the completion of these improvements to inspect the same or the operation thereof.

6. This permit does not relieve the applicant from securing building permits in municipalities or counties having a building code, or complying with any municipal or county zoning or other ordinances applicable thereto.

7. The Department of Public Health shall be notified when construction, as authorized herein, is completed and ready for inspection.

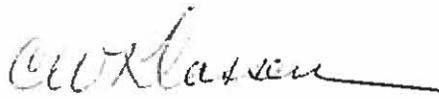
8. This permit shall become void one year after date of issue, unless the project as authorized is completed prior to date of expiration.

9. Not more than one occupied trailer shall be accommodated on the site of the proposed park until a license has been issued.

Very truly yours,

ILLINOIS DEPARTMENT OF PUBLIC HEALTH

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NOV 10 2016
CHAMPAIGN CO. P & Z DEPARTMENT

By 
Chief Sanitary Engineer

And


L. L. Fatherree, M. D.
Director of Public Health

HAS:eps
cc: -East Central Region
-County Clerk

P.S. East Central Region

Attached is an application for a permit to construct subject trailer park.

STATE OF ILLINOIS
DEPARTMENT OF PUBLIC HEALTH

SPRINGFIELD, ILLINOIS 62706

FRANKLIN D. YODER, M.D., M.P.H.
DIRECTOR

January 5, 1970

DIVISION OF SANITARY ENGINEERING

URBANA - Wilson Trailer Park No. 3

[Handwritten initials]

Mr. Earl K. Wilson
R. R. #3
Urbana, Illinois 61801

Dear Mr. Wilson:

Enclosed please find permit to construct No. 3 - 1970 which authorizes the construction of 32 independent trailer spaces for your new trailer park.

This permit is being issued with the understanding that the following is complied with:

At the two necessary water and sewer crossings at spaces #6 and #15, the water line shall be kept at least 18" above the top of the sewer, which vertical separation shall be maintained at least 10' from each side of the crossing or the sewer shall be constructed of cast iron pipe with watertight joints for a distance of 10' from each side of the water line.

Very truly yours,

WCM:eba
cc: -East Central Region
-C. S. Danner

C. W. Klassen
Chief Sanitary Engineer

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CHAMPAIGN CO. P & Z DEPARTMENT



STATE OF ILLINOIS
DEPARTMENT OF PUBLIC HEALTH
SPRINGFIELD 62706

FRANKLIN D. YODER, M.D., M.P.H.
DIRECTOR

January 5, 1970

DIVISION OF SANITARY ENGINEERING

URBANA - Wilson Trailer Park No. 3
Permit to Construct No. 3 - 1970

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NOV 10 2016

Mr. Earl K. Wilson
R. R. #3
Urbana, Illinois 61801

CHAMPAIGN CO. P & Z DEPARTMENT

Dear Mr. Wilson:

A permit subject to the conditions following is hereby given to construct a trailer coach park containing 32 independent trailer spaces to be known as the Wilson Trailer Park No. 3 located on R. R. #3, Urbana, Champaign County, Illinois, all as is shown on an application and plans submitted by you.

Authority for this permit is granted in accordance with the provisions of "An Act in relation to the licensing and regulation of trailer coach parks" (approved July 13, 1953, as amended) and subject to the provisions hereof:

The conditions of permit are:

1. This permit shall not be considered in any manner effecting the title to the premises upon which any of the proposed improvements are to be located.
2. This permit does not in any way release the permittee from any liability for damage to person or property caused by or resulting from installations, maintenance or operation of these improvements, located and constructed in accordance with the plans and specifications herein referred to.
3. The State Department of Public Health, in issuing this permit, has relied upon the statements and representations made by the permittee in the application herefor; and in case any statement or representation in said application is found to be incorrect, this permit may be revoked without further notice, and the permittee thereupon waives all rights thereunder.
4. There shall be no deviations from the plans and specification.

submitted with the application for this permit unless revised plans and specifications therefore shall first have been submitted to the State Department of Public Health and a supplemental permit issued therefore.

5. The State Department of Public Health or any person duly authorized by it, may at any time during the progress of the construction or the installation of these improvements or any part thereof under authority hereof have the right and authority to inspect such work during the progress thereof; and such Department or its duly authorized agent shall have the authority any time and all times after the erection or the completion of these improvements to inspect the same or the operation thereof.

6. This permit does not relieve the applicant from securing building permits in municipalities or counties having a building code, or complying with any municipal or county zoning or other ordinances applicable thereto.

7. The Department of Public Health shall be notified when construction, as authorized herein, is completed and ready for inspection

8. This permit shall become void one year after date of issue, unless the project as authorized is completed prior to date of expiration.

9. Not more than one occupied trailer shall be accommodated on the site of the proposed park until a license has been issued.

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CHAMPAIGN CO. P & Z DEPARTMENT

Very truly yours,

ILLINOIS DEPARTMENT OF PUBLIC HEALTH



Franklin D. Yoder, M.D.
Director

By



C. W. Klassen
Chief Sanitary Engineer

m
WCM:abs
cc: -East Central Region
-County Clerk

P. S. East Central Region

Attached is a copy of the application and plans for permit to construct subject trailer park.

SUBMIT TWO NOTARIZED COPIES OF THIS APPLICATION

Area of Park
in Acres 2.8

ILLINOIS DEPARTMENT OF PUBLIC HEALTH
DIVISION OF SANITARY ENGINEERING
Springfield, Illinois

<u>No. of Trailer Spaces</u>	
Existing	<u>0</u>
Proposed	<u>32</u>
TOTAL	<u>32</u>
Eliminated	<u>0</u>
TOTAL	<u>32</u>

Check One (See attached instructions, paragraph #1)

APPLICATION FOR: () Original license to operate a Trailer Coach Park
() Permit to alter existing Trailer Coach Park
(X) Permit to construct a new Trailer Coach Park

A. Application Fee enclosed \$ 10.00 . The application fee shall be paid to the Department by a certified check or United States Postal Money Order. Personal checks can not be accepted.

B. Name of Applicant (Owner or Lessee) Earl K. & Anna N. Wilson

Address	<u>R. R. 3</u>	<u>Urbana</u>	<u>61801</u>	<u>367-4269</u>
	No.	Street	City	Zip Code Phone No.

Name of Manager or Attendant Earl K. Wilson

C. Name of Trailer Park Wilson Trailer Park #3

Location of Trailer Park	<u>R. R. #3</u>	<u>Urbana</u>	<u>61801</u>	<u>367-4269</u>
	No.	Street	City	Zip Code Phone No.

Inside city limits () Outside city limits (X).

P. O. Address Urbana, Illinois 61801

Legal Description Lots 1 through 32 of attached legal description.

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CHAMPAIGN COUNTY DEPARTMENT

Proposed New Spaces: No. of independent trailer spaces 32 No. of

Dependent Trailer Spaces 0. TOTAL No. of Spaces 32

Area of Smallest Trailer Coach Space in proposed spaces - 2625 Square feet.

D. Trailer Park to be operated (X) 12 months.

E. Fire-fighting facilities: Are public facilities available (municipal, fire district, etc.) (X) Yes. () No. If yes, give name of municipality or fire district and briefly describe facilities and service: EdgeScott Fire Protection District
Volunteer unit within 1/2 mile.

Fire extinguishers in park: (State number)

(2) 5 lb. CO₂

(1) 5 gallon water pump can

(2) 4 lb. Dry Chemical

Other 1 Fire Hydrant

Maximum distance from most remote trailer space to fire equipment 150 ft.

F. Refuse Handling:

Size of containers 20 Gallons: Collections per week 2 containers

located at (each space - ~~central location~~) disposed of by (~~through~~ - hauled away.)
(circle one) (circle one)

G. Attach a plot plan of the park in duplicate, which is made a part of this application, drawn to a scale sufficiently large to show all the following details clearly: (1) Location of each individual trailer coach space, (2) Roadways, (3) Water lines, (4) Sewers and other drain lines, (5) Utility buildings, (6) Lighting of park area, (7) Location of fire-fighting equipment (extinguishers, hydrants, etc.), (8) Location of garbage and refuse receptacles, (9) Location of water supply wells, pumps and storage facilities, (10) Location of sewage treatment facilities. (See sample plot plan in instructions)

Application to alter shall include in addition to the above, all proposed alterations or changes in existing facilities.

H. Attach building plans and specifications in duplicate which are made a part of this application, for existing and proposed community service building or buildings or the proposed alterations in existing buildings that will include a properly dimensioned floor plan and a description of all toilets, urinals, sinks, wash basins, slop sinks, showers, drains, water heater, space heater, laundry facilities and floor construction (concrete, terrazzo, etc.).
(See sample floor plan in instructions.)

Number of Lavatories _____ Toilets _____ Urinals _____ Showers _____ Laundry Units _____

I. If municipal water supply is used give name of municipality City

Size of main serving park 6" (Diameter in inches).

If private well: Total depth of well _____ Length of casing or outside wall _____

Type of casing material _____ Diameter of well _____ Is top of casing sealed

watertight _____ Describe seal _____ Is there a well

pit RECEIVED Is platform of concrete _____ Is platform cracked _____ Capacity of pump in

G.P.M. NOV 18 2016 Capacity of storage tank _____ gallons. Storage tank

pressure: Maximum Pressure _____ psi. Minimum Pressure _____ psi. Has a sample of

well water been submitted for bacterial analysis to state laboratory within the

last year _____ If so give laboratory number of sample _____

J. Park served by (Municipal - ~~XXXXXX~~) sewer system. If private system, indicate (circle one) type below and complete descriptive information for all units:

Septic tank: Seepage tile: Sand filter: Other (Circle applicable units)

Septic tank dimensions _____ Size of filter _____ SQUARE FEET

Lineal feet of seepage tile _____ Size of dosing tank _____

Branches from distribution box _____ Filter outlet to _____ (Jlitch, stream, etc.)

If treated sewage discharges above ground has a permit from Sanitary Water Board been granted () Yes. () No. If treated sewage is discharged to a stream give name _____

K. Area of land described in this application has been properly zoned (X) Yes. () No.

Name of Zoning Board _____ City of Urbana _____ Are there any zoning restrictions to development of subject trailer parR? () Yes. (X) No.

NOTE: Plans and specifications for all sewage treatment plants must be on file with the Illinois Sanitary Water Board or must accompany this application in duplicate.

STATE OF ILLINOIS : : ss

County of Champaign :

Earl K. Wilson
Mr. Anna N. Wilson residing at R. R. #2 #4 Street
(Name of Applicant) (Street Address)

Urbana County of Champaign Illinois, being first duly sworn on oath (City)

declares that all statements made on all pages of this application and all attachments hereto are true and correct

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CHAMPAIGN CO. P & Z DEPARTMENT

SUBSCRIBED AND SWORN TO

(Signed) Anna N. Wilson Pr
(Applicant)
(Signed) Earl K. Wilson
(Applicant)

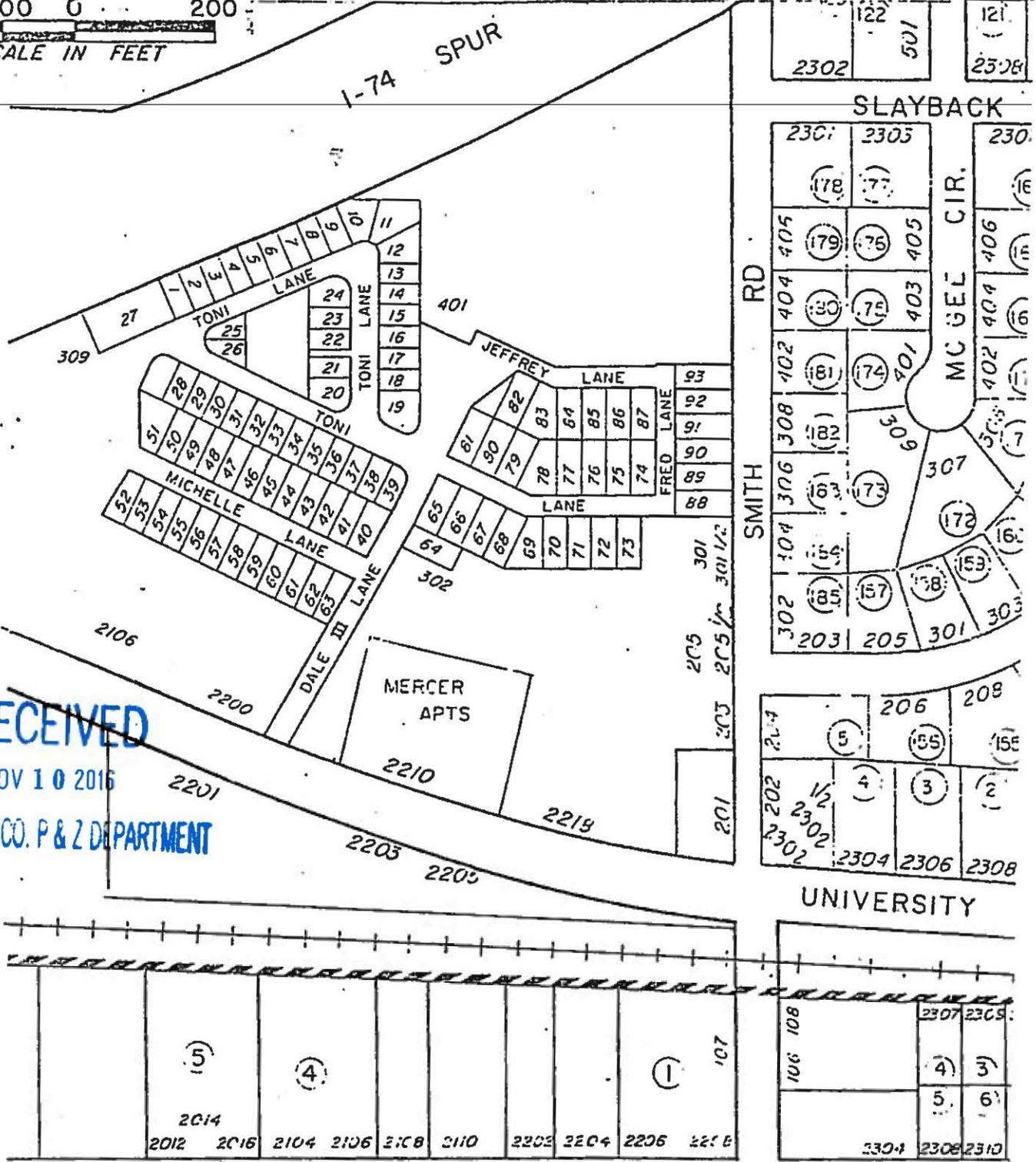
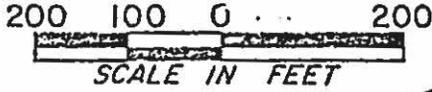
before me this 3rd day of November 1969

Melvin Bourgeois
Notary Public



CITY OF URBANA
ENGINEERING DEPARTMENT

Street Name	Range of Addresses
Dale III Lane	64, 302, 401
Fred Lane	88-93
Jeffrey Lane	82-87
Michelle Lane	40-63
Toni Lane	1-39, 65-81, 309A, 309B



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CHAMPAIGN CO. P & Z DEPARTMENT

2012	2014	2016	2104	2106	2108	2110	2202	2204	2206	2208
(5)	(4)	(1)								

MAIN

Susan Burgstrom

From: Friend, Mike <mfriend@F-W.com>
Sent: Friday, June 16, 2017 10:56 AM
To: Susan Burgstrom
Cc: Dax Nolen; Jansen, Anthony; DeWerff, Joseph
Subject: RE: Stonetown Woodland Acres
Attachments: Woodland Acres OVERALL.pdf

Susan

Attached is the drawing we prepared to illustrate the items requested. I put a large note on the drawing to be clear that it is for illustration purposes only, as it is a PDF which merges several other drawings together, some by others. I am not trying to be difficult with regard to that, it is just imperative from a professional standpoint that I not misrepresent the drawing and clearly note that it includes work performed by others. I am hopeful that this will provide you what you need. I am having Joseph hand deliver 5 full size copies of this for your use. The full size plot is at a 60 scale, so the 11x17 will be pretty tough to read. I just called your office and they indicated you were out today- feel free to contact me if you have any questions.

FYI we plan on submitting the IDPH permit to Springfield today as well as water and sewer permits next week. We will CC you on all of that.

Mike

Michael C. Friend PE | Engineering Manager
Farnsworth Group, Inc.
2211 West Bradley Avenue | Champaign, IL 61821
P 217-352-7408, ext. 249 | f 217-352-7409 | c 815-510-2090
www.f-w.com | www.greennavigation.com

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JUN 16 2017

CHAMPAIGN CO F & Z DEPARTMENT



From: Susan Burgstrom [mailto:sburgstrom@co.champaign.il.us]
Sent: Monday, June 05, 2017 11:33 AM
To: Friend, Mike <mfriend@F-W.com>
Cc: Dax Nolen <dn@stonetowncapital.com>
Subject: RE: Stonetown Woodland Acres

No CAD needed, but to scale would be appreciated. The overall site plan needs to include:

- existing and proposed streets
- existing home and building locations and numbers
- proposed home and building locations and numbers
- existing and proposed rec areas
- measurements between homes/buildings and the property line and between buildings (from the ALTA survey)



2211 W. Bradley Avenue
Champaign, Illinois 61821
p 217.352.7408 f 217.352.7409

www.f-w.com

June 16, 2017

Illinois Department of Public Health
Division of Environmental Health
525 West Jefferson Street
Springfield, Illinois, 62761

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JUN 16 2017

CHAMPAIGN CO. P & Z DEPARTMENT

Attention: John Reilly
Subject: Stonetown Woodland Acres LLC
Champaign County, Urbana, Illinois, 61802

Mr. Reilly:

On behalf of our client, Stonetown Woodland Acres, LLC, enclosed please find 2 copies of the following:

1. A completed IDPH Permit Application form requesting a permit to modify the existing Woodland Acres Manufactured Home Community
2. Exhibits A through D in support of the application
3. The Plans for the proposed expansion prepared by the Farnsworth Group
4. A check in the amount of \$50 for processing of this application

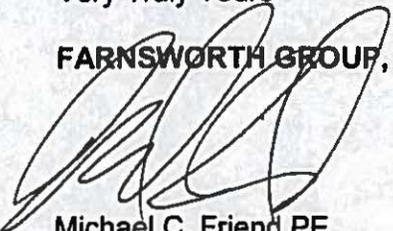
We are submitting the application electronically today, with hard copies and the application fee to follow in the mail.

Stonetown Woodland Acres LLC is scheduled for a Public Hearing before the Champaign County Board of Appeals on Thursday June 29th at 7 PM. Case numbers 869-AM-17,870-S-17, and 871-V-17 will be heard in support of the facility application. Any feedback with regard to this application which could be reviewed by the Zoning Board of Appeals at the time of the hearing would be appreciated.

If you have any questions or require any additional information please feel free to contact me.

Very Truly Yours

FARNSWORTH GROUP, INC.



Michael C. Friend PE
Engineering Manager

Enclosures

cc: Dax Nolen, Stonetown Woodland Acres, LLC
Susan Burgstrom, Champaign County Department of Planning and Zoning

ID# _____
 Log# _____
 City _____
 cc'd Region _____

ILLINOIS DEPARTMENT OF PUBLIC HEALTH
 DIVISION OF ENVIRONMENTAL HEALTH
 525 WEST JEFFERSON STREET
 SPRINGFIELD, IL 62761
 217-782-5830

This application form and all attachments must be submitted in duplicate (including two copies of plan drawings) to the above address. Attach properly identified supplementary sheets for information that cannot be placed in the blank spaces provided on these forms.

CHECK ONE OF THE FOLLOWING

- () Original license to operate a manufactured home community - \$100 (Community in existence, but not currently licensed. Submit as built plans of the community.)
- () Permit to construct a new manufactured home community - \$100 (Submit two copies of complete plans sealed by an Illinois registered engineer or architect.)
- (x) Permit to alter an existing manufactured home community - \$50
- () Permit to alter an existing manufactured home community by reduction of sites - NO FEE (Complete only Part I of this application.)

ALL FEES ARE TO BE MADE PAYABLE TO THE ILLINOIS DEPARTMENT OF PUBLIC HEALTH IN THE FORM OF A MONEY ORDER OR CHECK.

PART I - GENERAL

- A. Name of Community Woodland Acres Manufactured Home Community
- B. Name of Applicant Stonetown Woodland Acres, LLC
- C. Name of Partnership or Corporation (if applicable) _____

Names of Partners or Officers

Addresses of Partners or Offices

_____	_____
_____	_____
_____	_____
_____	_____

- D. Address of Applicant 720 S. Colorado Blvd. Glendale, CO 80246
 (Street) (City) (ZIP Code)
 Telephone Number: (303)407-3003 Fax Number () _____
- E. Address of Manufactured Home Community 2200 E. University Ave., Urbana, IL, 61802
- F. Location of Manufactured Home Community Champaign Urbana
 (County) (City)
Urbana Township 61802 (217) 384-4455
 (Township) (ZIP Code) (Telephone)

Legal Description of Tract of Land A portion of the West Half of the Southwest Quarter of Section 10, Township 19 North, Range 9 East of the Third Principal Meridian.

NOTE: For a more detailed Legal Description, see Exhibit A attached.

G.	Number of Manufactured Home Sites		Specify the Sites in Each Category by Site Number
	1. Existing Manufactured Home Sites	93	1-93
	2. New Sites to be Constructed	21	94-114
	3. Sites to be Eliminated	0	N/A
	4. New Total	114	1-114

Note: see Expansion Plans

H. Manager

1. Name Patrick Dubson

2. Address: 2200 E. University Ave Urbana 61802
 (Street) (City) (ZIP Code)

Telephone (217) 384-4455 Fax Number ()

I. Zoning Requirements

1. Name of Zoning Board Champaign County Zoning Board

2. Address 1776 E. Washington St., Urbana, IL 61802

3. Is the manufactured home community properly zoned? () Yes (x) No **Note: Community has a pending Special-Use designation under current zoning with County.**

4. Location of manufactured home community () inside municipality (x) outside municipal limits

PART II GENERAL CONSTRUCTION

A. Width of Roadway 24 feet

B. Type of Roadway Surface Bituminous Asphalt

C. Traffic Flow Pattern All roadways permit 2-way travel

D. Parking Facilities 2 off-street spaces per residence; 4 spaces at rec area (46 spaces total)

E. Type of Roadway Curbing Roll curb and gutter

F. Manufactured Home Lot Size 58 feet (dbl-wide unit) 116.53 feet
 (Minimum Length) (Maximum Length)
4,234 sq. ft. (dbl-wide unit)
 (Minimum Square Footage)

G. Type of Home Foundation () Runner (x) Slab () Other
 If other, explain Meeting HUD standards

H. Type of Tiedown Anchors and Manufacturer _____
Xi2 Foundation System by Tie Down Engineering (see Exhibit B attached)

PART III WATER SUPPLY

A. Municipal Water Supply () Yes (x) No Public Water District (x) Yes () No

1. Name of Municipality or District Illinois American Water Company (ILAWC)

2. Size of Water Main Serving Community 6 inch

3. Copy of Water Agreement is Attached () Yes (x) No **Note: ILAWC will own distribution system. Each home will be individually metered.**

4. Pressure in Main at Point of Tap _____

B. Private Water Supply*

1. Location of Well N/A

2. Depth of Well N/A

3. Diameter of Well N/A

4. Length of Casing N/A

5. Type of Casing Material N/A

6. Type of Annular Seal N/A

7. Type of Well Seal N/A

8. Pitless Adapter N/A
 (Name of Manufacturer) (Model Number)

9. Capacity of Test Pump (Gallons Per Minute) N/A

PART VI SEWAGE SYSTEM

- A. Municipal sewage system or sanitary district. Yes No
1. Name of Municipality or District Urbana & Champaign Sanitary District
2. Copy of agreement with city or sanitary district is attached. Yes No
- B. Private Sewage Disposal System (Private Sewage Disposal Code) Submit identical information on all private sewage disposal systems that are to be used in this manufactured home community.
1. Septic Tank Approval Number and Capacity N/A
(Approval #) (Capacity)
2. Depth of Ground Water Table N/A
3. Percolation Tests Performed By N/A
4. Percolation Data N/A
 Test Hole #1 _____ hours _____ minutes
 Test Hole #2 _____ hours _____ minutes
 Test Hole #3 _____ hours _____ minutes
 At least 3 percolation tests are required for each subsurface seepage disposal system.
5. Installation/Maintenance must be done by a licensed private sewage disposal contractor. N/A
- d. Name of Contractor _____
- e. I.D. # _____
6. Calculations of Required Capacities N/A
- a. The number of sites times the volume per site per day divided by the percolation rate equals the required absorption area.
 $\underline{\hspace{2cm}} \text{ Sites} \times 400 \text{ gallons/day/site} \div \underline{\hspace{2cm}} \text{ gallons/ft}^2/\text{day} = \underline{\hspace{2cm}} \text{ft}^2$
- b. The absorption area divided by the trench width equals the lineal feet of absorption trench.
 $\underline{\hspace{2cm}} \text{ft}^2 \div \underline{\hspace{2cm}} = \underline{\hspace{2cm}} \text{ Feet of trench needed.}$
7. Other Private Sewage Disposal Systems (Plans and specifications must be submitted.) N/A
- a. Sand Filter
- b. Package Treatment
- c. Three Cell Lagoon
- d. Other - Specify _____
- e. If treated sewage discharges above ground, has a permit to alter/construct and operate a sewage treatment facility been obtained from the Illinois Environmental Protection Agency? Yes No
- f. If treated sewage discharges to a stream, give name of stream:

 (Name of Stream) (NPDES Permit #)

PART VII SEWAGE COLLECTION SYSTEM

- A. Length of Mains in Community 1,450 feet
- B. Size of Mains in Community 6 inch
- C. Type of Sewer Main Material Polyvinyl Chloride (PVC) SDR 26
- D. Testing Agency Approval Number of Sewer Main Material (i.e. ASTM#) ASTM D 3034
- E. Size of Sewer Riser 4 inch
- F. Type of Sewer Riser Material (Illinois Plumbing Code Table A - Approved Building Drain Material), Testing Agency Approval Number (i.e. ASTM#) PVC (SDR 26), ASTM D 3034
- G. Elevation of sewer riser above finished grade. (4 inches minimum) 4 inch minimum

PART VIII SOLID WASTE DISPOSAL (Check A or B)

- A. Individual Service Containers ()
 - 1. () 1 - 40 gallon container per site
 - 2. () 2 - 20 gallon containers per site
 - 3. () 1 - 30 gallon container plus 1 - 10 gallon container
 - 4. () 1 - 20 gallon containers per site with collection two times per week
 - 5. () Other - Specify 95 gallon containers - collection once per week
- B. Bulk Containers () N/A
 - 1. Size of container _____ gallons or _____ cubic yards
(_____ gallons ÷ 202 gallons/yd³ = _____ cubic yards)
 - 2. Number of bulk containers _____
 - 3. Bulk containers located within 250 feet of each site. () Yes () No

PART IX LIGHTING (Check A or B)

- A. Central () *NOTE: See attached Exhibits C and D*
 - 1. Height of Light 25 feet
 - 2. Wattage 400 W
 - 3. Type of Light (i.e. sodium, mercury vapor) High Pressure Sodium
 - 4. Average distance between lights 138 feet
- B. Individual Lighting () N/A
 - 1. Gas ()
 - 2. Electric () Wattage of Light _____

PART X FIRE FIGHTING FACILITIES

- A. Name of Local Fire Department Edge-Scott Fire Protection
- B. Description of Facilities and Service Three (3) fire hydrants located within expansion area. Local Fire Department is approximately 700' away from expansion area.
- C. (Communities constructed after January 1, 1998) Fire hydrants within 500 feet of any structure () Holding pond () Other - Specify _____

PART XI ELECTRICAL DISTRIBUTION *NOTE: Design, construction, and ownership of the electrical distribution system and individual services will be by Ameren Illinois. All improvements will meet the Standards of Ameren Illinois.*

- A. Size of service supplied _____
- B. Location of conductors:
 - 1. Above ground - Height above vehicular traffic _____
Height above pedestrian traffic _____
 - 2. Below ground - burial depth _____
- C. Type, size and number of conductors from the meter to the home _____
- D. Type and rating of service center _____

PART XII FUEL GAS *NOTE: Design, construction, and ownership of the natural gas distribution system and individual services will be by Ameren Illinois. All improvements will meet the Standards of Ameren Illinois.*

- A. Type of Pipe _____
- B. Burial Depth of Pipe _____
- C. Location of Meter and Service Valve _____

SUBMIT TWO COPIES OF PLOT PLANS, DRAWN TO SCALE, SHOWING THE FOLLOWING:

1. Boundaries of each manufactured home site
2. Site numbers for each site
3. Roadways and width
4. Location, sizes and materials of water lines
5. Location, sizes and materials of sewer lines
6. Typical water and sewer riser plans *Water services to be installed upon individual lot development*
7. Location and sizes of lighting
8. Garbage and refuse collection locations *see Part VIII above*
9. Location(s) of water supply/wells *N/A*
10. Locations of sewage treatment facilities and type *N/A*
11. Elevation contours of the community
12. Provisions for surface drainage
13. Location of fire hydrants/holding ponds
14. Typical site plans indicating location of parking, foundation systems for the homes, utilities and lights. *See attached Exhibit B*
15. Location of fuel supply systems and distribution lines

PLANS OF THE MANUFACTURED HOME COMMUNITY SHOULD INDICATE ALL THE INFORMATION CONTAINED IN THIS APPLICATION.

IMPORTANT NOTICE

This state agency is requesting disclosure of information that is necessary to accomplish the statutory purpose as outlined under Public Act 78-929. Disclosure of this information is mandatory.

IL-042-0141

Exhibit A

Legal Description of the Property

TRACT 1:

ALL THAT PORTION OF THE FOLLOWING DESCRIBED TRACT OF LAND WHICH LIES SOUTH AND EAST OF THE SOUTHERLY AND EASTERLY RIGHT-OF-WAY LINE OF THE URBANA SPUR OF INTERSTATE ROUTE 74, NORTH OF THE NORTHERLY RIGHT-OF-WAY LINE OF STATE HIGHWAY ROUTE 10 AND WEST OF THE WESTERLY RIGHT-OF-WAY OF SMITH ROAD: THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 19 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN AND LOTS 3 AND 4 OF A SUBDIVISION OF THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 19 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, AS PER COMMISIONERS' REPORT IN CHANCERY 207 RECORDED IN CIRCUIT RECORD "D" PAGE 223;

EXCEPT THE FOLLOWING DESCRIBED TRACT:

COMMENCING AT THE SOUTHEAST CORNER OF JACOB M. SMITH'S ESTATE SUBDIVISION OF THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 19 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN; THENCE RUNNING NORTHERLY ALONG THE EAST LINE OF SAID LOT 3, 435.82 FEET TO THE TRUE PLACE OF BEGINNING ON THE NORTHERLY RIGHT-OF-WAY LINE OF U.S. ROUTE 150; THENCE WESTERLY ALONG SAID RIGHT-OF-WAY LINE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 2,801 FEET, 643.48 FEET FOR A TRUE PLACE OF BEGINNING; THENCE NORTH 23 DEGREES 43 MINUTES 46 SECONDS 203.98 FEET; THENCE NORTH 27 DEGREES 15 MINUTES 11 SECONDS EAST 113.89 FEET; THENCE NORTH 24 DEGREES 21 MINUTES 03 SECONDS EAST 68.00 FEET; THENCE SOUTH 65 DEGREES 38 MINUTES 57 SECONDS EAST 135.79 FEET; THENCE NORTH 87 DEGREES 45 MINUTES 00 SECONDS TO THE WESTERLY RIGHT-OF-WAY LINE OF SMITH ROAD; THENCE ALONG THE WESTERLY RIGHT-OF-WAY LINE OF SMITH ROAD, SOUTH 00 DEGREES 18 MINUTES 19 SECONDS EAST TO THE PLACE OF BEGINNING;

AND ALSO EXCEPT THE FOLLOWING DESCRIBED TRACT:

LOTS 1, 2 AND 3 IN A REPLAT OF LOT 4 OF JACOB M. SMITH'S ESTATE SUBDIVISION, AS PER PLAT RECORDED IN PLAT BOOK "AA" AT PAGE 233 AS DOCUMENT 88R17745; AND EXCEPT THAT PART CONVEYED TO THE STATE OF ILLINOIS DEPARTMENT OF TRANSPORTATION BY DEEDS RECORDED MARCH 5, 2002 AS DOCUMENTS 2002R08163 AND 2002R08164;

AND ALSO EXCEPT THAT PART PLATTED AS CASEY'S CORNER SUBDIVISION AS PER PLAT RECORDED AS DOCUMENT 2012R19805;

ALL SITUATED IN CHAMPAIGN COUNTY, ILLINOIS.

TRACT 2;

COMMENCING AT THE SOUTHEAST CORNER OF LOT 3 OF JACOB M. SMITH'S ESTATE SUBDIVISION THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 19 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN; RUNNING THENCE NORTHERLY ALONG THE EAST LINE OF SAID LOT 3, 435.82 FEET TO THE NORTHERLY RIGHT-OF-WAY LINE OF U.S. ROUTE 150; THENCE WESTERLY ALONG SAID RIGHT-OF-WAY LINE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 2,801 FEET, AN ARC DISTANCE OF 128.50 FEET FOR A TRUE PLACE OF BEGINNING; THENCE CONTINUING WESTERLY ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF U.S. ROUTE 150 ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 2,801 FEET, AN ARC DISTANCE OF 249.16 FEET, SAID CURVE HAVING A CHORD DISTANCE OF 249.08 FEET AND A CHORD BEARING OF NORTH 78 DEGREES 19 MINUTES 18 SECONDS WEST; THENCE NORTH 14 DEGREES 32 MINUTES 43 SECONDS EAST 199.00 FEET; THENCE NORTH 72 DEGREES 25 MINUTES 00 SECONDS WEST 233.40 FEET; THENCE NORTH 27 DEGREES 15 MINUTES 11 SECONDS EAST 113.89 FEET; THENCE NORTH 24 DEGREES 21 MINUTES 03 SECONDS EAST 68.00 FEET; THENCE SOUTH 65 DEGREES 38 MINUTES 57 SECONDS EAST 135.79 FEET; THENCE NORTH 87 DEGREES 45 MINUTES 00 SECONDS EAST 293.92 FEET TO THE WESTERLY RIGHT-OF-WAY LINE OF SMITH ROAD; THENCE ALONG THE WESTERLY RIGHT OF-WAY LINE OF SMITH ROAD SOUTH 00 DEGREES 18 MINUTES 19 SECONDS EAST 285.10 FEET; THENCE SOUTH 89 DEGREES 40 MINUTES 49 SECONDS WEST 84.26 FEET; THENCE SOUTH 00 DEGREES 37 MINUTES 16 SECONDS EAST 146.74 FEET TO THE PLACE OF BEGINNING, SITUATED IN CHAMPAIGN COUNTY, ILLINOIS;

EXCEPT THE FOLLOWING DESCRIBED TRACT:

COMMENCING AT THE SOUTHEAST CORNER OF LOT 3 OF JACOB M. SMITH'S ESTATE SUBDIVISION THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 19 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN; RUNNING THENCE NORTHERLY ALONG THE EAST LINE OF SAID LOT 3, 435.82 FEET TO THE NORTHERLY RIGHT-OF-WAY LINE OF U.S. ROUTE 150; THENCE WESTERLY ALONG SAID RIGHT-OF-WAY LINE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 2,801 FEET, AN ARC DISTANCE OF 128.50 FEET FOR A TRUE PLACE OF BEGINNING; THENCE CONTINUING WESTERLY ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF U.S. ROUTE 150 ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 2,801 FEET, AN ARC DISTANCE OF 249.16 FEET, SAID CURVE HAVING A CHORD DISTANCE OF 249.08 FEET AND BEARING NORTH 78 DEGREES 19 MINUTES 18 SECONDS WEST; THENCE NORTH 14 DEGREES 32 MINUTES 43 SECONDS EAST 199.99 FEET; THENCE SOUTH 84

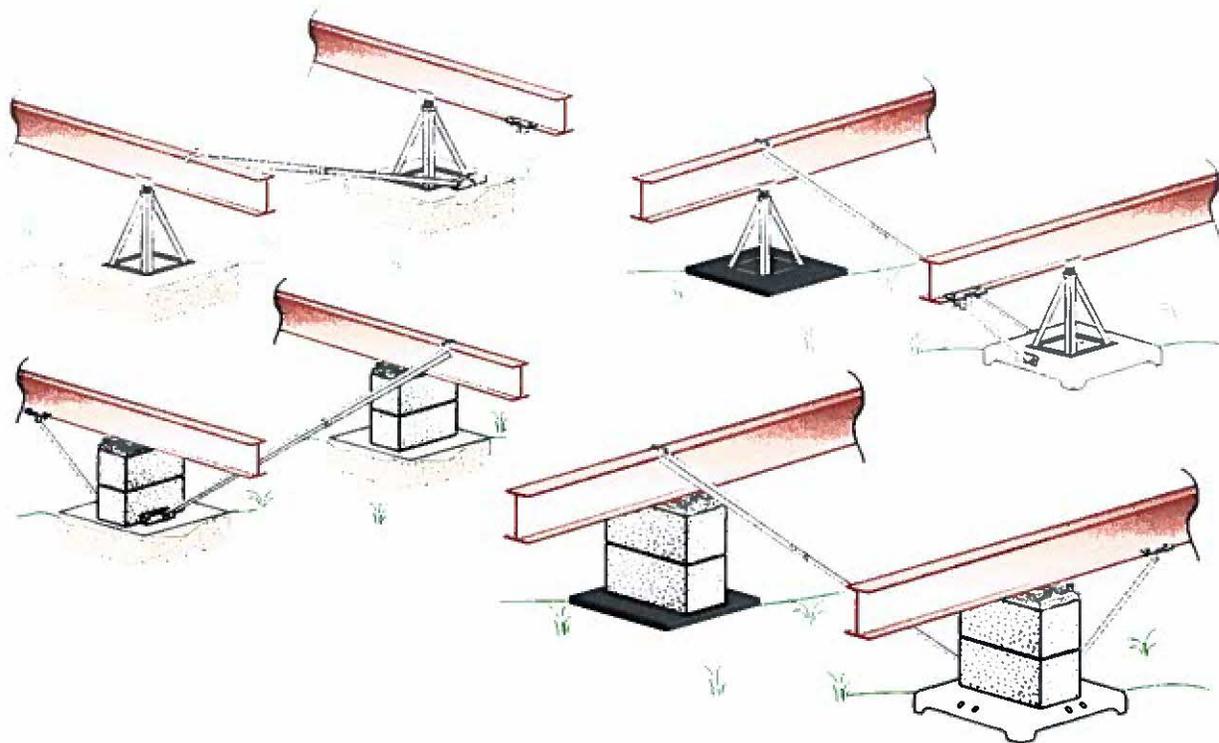
DEGREES 08 MINUTES 44 SECONDS EAST 71.85 FEET; THENCE NORTH 09 DEGREES 14 MINUTES 15 SECONDS 55.09 FEET; THENCE SOUTH 79 DEGREES 45 MINUTES 52 SECONDS EAST 71.91 FEET; THENCE NORTH 02 DEGREES 15 MINUTES 01 SECONDS WEST 150.00 FEET TO THE WEST RIGHT-OF-WAY LINE OF SMITH ROAD; THENCE SOUTH 00 DEGREES 18 MINUTES 19 SECONDS EAST ALONG THE WEST RIGHT-OF-WAY LINE OF SMITH ROAD 285.10 FEET; THENCE SOUTH 89 DEGREES 40 MINUTES 49 SECONDS WEST 84.26 FEET; THENCE SOUTH 00 DEGREES 37 MINUTES 16 SECONDS EAST 146.79 FEET TO THE PLACE OF BEGINNING, SITUATED IN CHAMPAIGN COUNTY, ILLINOIS.

TRACT 3:

LOTS 1, 2 AND 3 IN A REPLAT OF LOT 4 OF JACOB M. SMITH'S ESTATE SUBDIVISION, AS PER PLAT RECORDED IN PLAT BOOK "AA" AT PAGE 233 AS DOCUMENT 88R17745, SITUATED IN CHAMPAIGN COUNTY, ILLINOIS.

Xi²

Xi2 Foundation System Commercial/Modular Installation Instructions for Ground & Concrete Systems IBC/IRC 2009 90 mph Exposure C By Tie Down Engineering



REQUIREMENTS

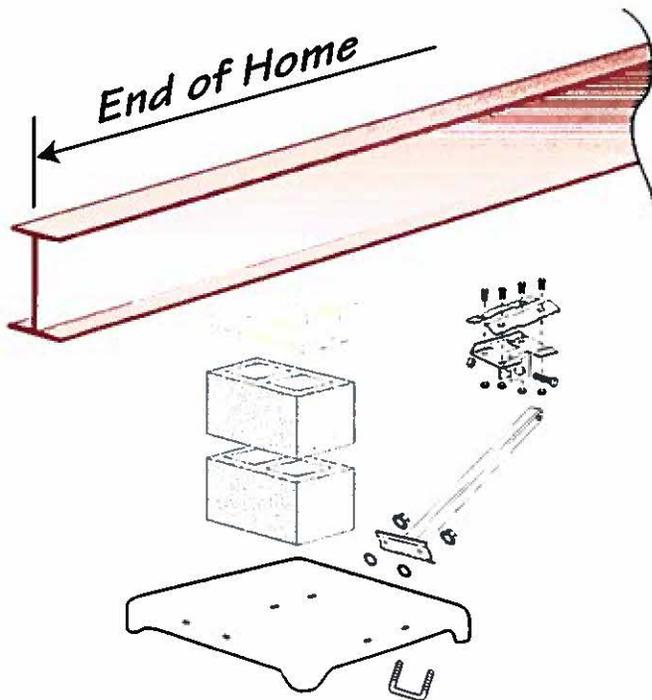
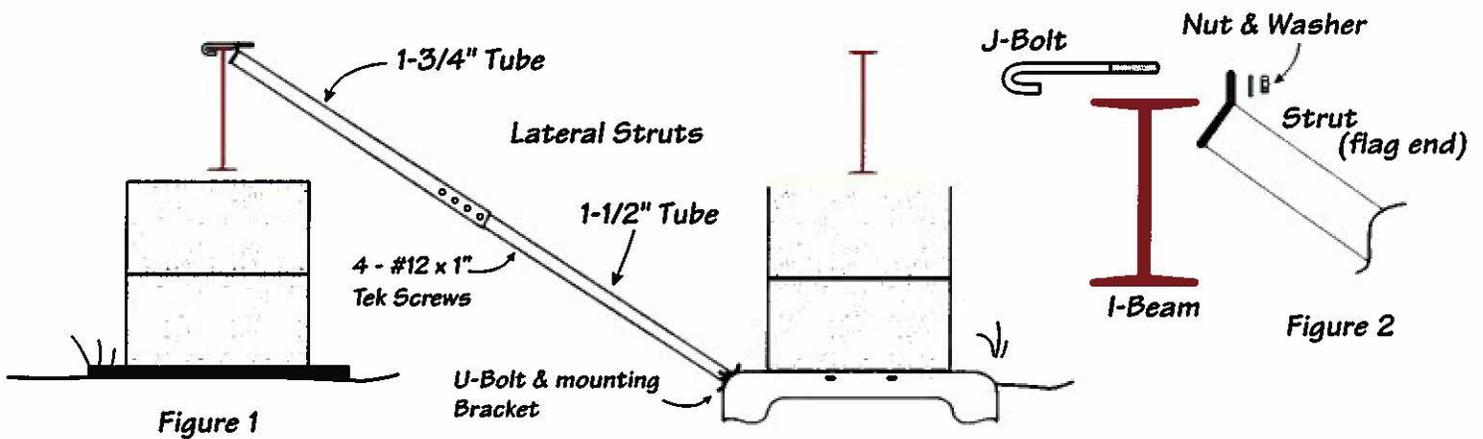
- These plans and specifications meet the requirements of IBC 2009, 90 mph. Exposure C Wind Loads.
- Maximum wall height 14', unless design loads adjusted accordingly.
- Main rail spacing must be 75.5" - 99.5".
- Vertical anchor ties that are unique to design may be required by the manufacturer. These locations may include shear walls, marriage line ridge beam support posts, and rim plates. The longitudinal component of the Xi2 system replaces end frame ties. Check manufacturers set-up requirements.
- Maximum pier height is 48" pier.
- Steel piers must be fastened to the I-beam with clamps provided with steel pier.
- Systems must be placed as evenly as possible, no more than 10' from end of unit.
- Designed for roof slope of 14 degrees or less.

Additional Requirements for Concrete Systems

- Poured concrete must be 2,500 PSI minimum at 28 days.
- Square concrete pads minimum is 18" wide by 12" deep. Round concrete pads minimum is 18" diameter by 14" deep. Strip footings minimum is 18" wide by 14' long by 6" deep.

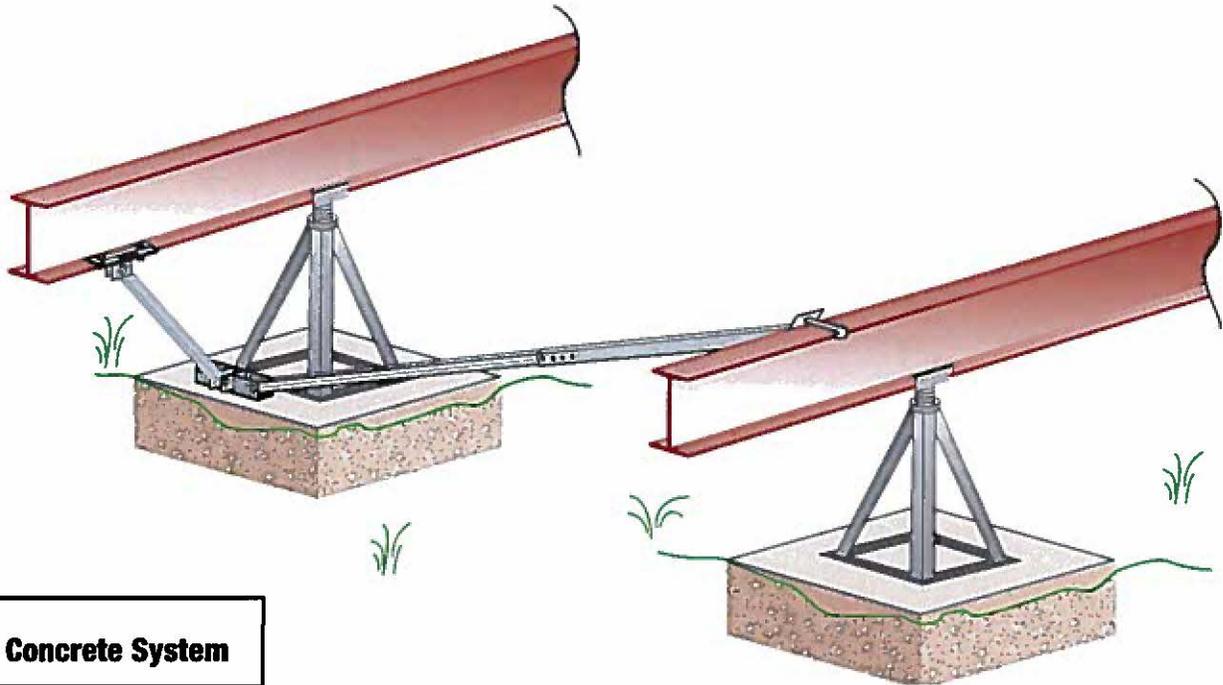
Installation of Xi2 Ground Systems

1. Identify the number of systems to be used on the unit using the chart provided (see page 4).
2. Identify the location where the systems will be installed.
3. Clear all organic matter and debris from the pad site.
4. Place U-bolts through holes in pan provided.
5. Place pad centered under beam with the lateral strut bracket towards the inside of the unit.
6. Press or drive pan into ground until level and flush with prepared surface.
7. Build pier according to State, Local or unit manufacturers guidelines (Figure 1).
8. Attach the end of the smaller tube to the inside of pan using U-bolt & nuts provided
9. Attach the flag end of the larger tube to the opposite I-beam using the "J" bolt over the top of the I-beam with the nut & washer provided (Figure 2).
10. Install a minimum of four (#12 x 1" tek screws) self-tapping screws into the holes provided in the lateral strut so that the two tubes should overlap a minimum of 6". (Figure 1).



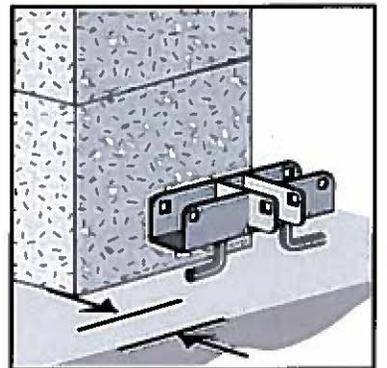
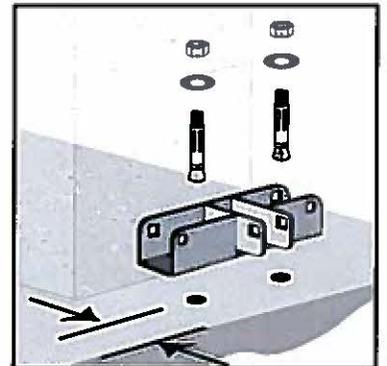
11. Install frame bracket clamps to I-beam on in side of block/pier. Do not tighten nuts at this time.
12. Attach longitudinal strut to U-bolt in pan using nuts provided.
13. Insert strut in the frame bracket clamp, attach with nut and bolt. Do not tighten at this time.
14. Pull the frame bracket clamp with the fastened strut outward to remove any slack.
15. Tighten all nuts and bolts on the struts and beam clamps.

Installation of Xi2 Concrete Systems

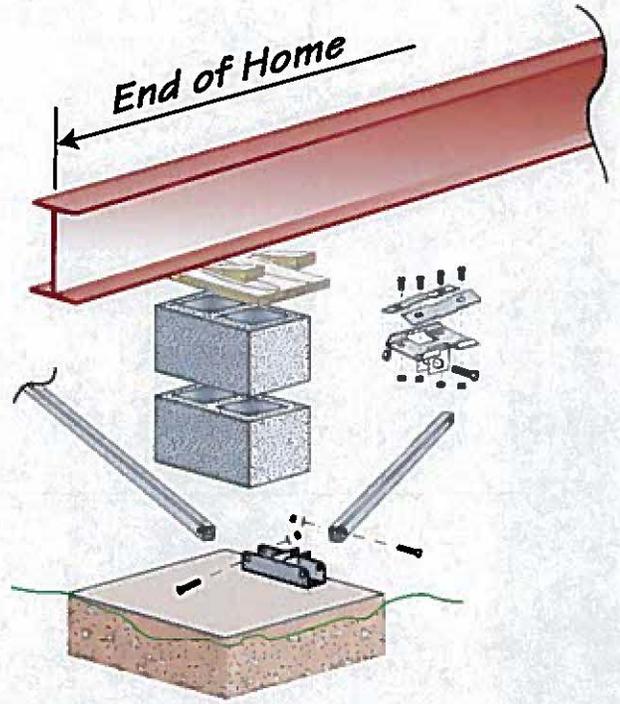
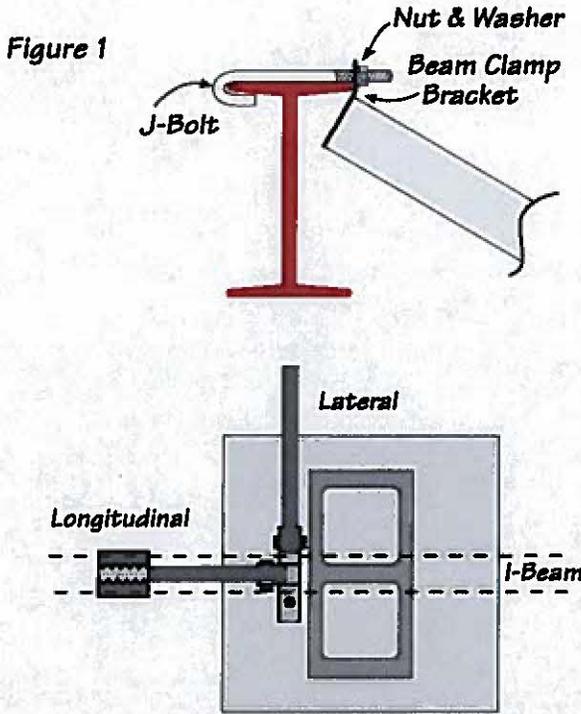


Xi2 Concrete System

1. Identify the number of systems to be used on the home using the chart provided.
2. Identify the location where the systems will be installed.
3. Build pier according to State, Local or unit manufacturers guidelines.
- 4A. Drill two 3/8" x 3" deep holes in the concrete using holes in galvanized bracket as a guide. Attach bracket to concrete pad using 3/8" x 3-1/2" wedge anchors provided. Place nut & washer on anchor, leave enough room for 1 to 2 threads showing on top of bolt. Using a hammer, tap the wedge bolts into hole through bracket, leaving nut & washer flush with bracket. Using a 9/16" socket wrench, tighten wedge/anchor bolt, securing bracket to the concrete.
- 4B. For wet set: align bracket and submerge legs completely in concrete. Bottom of the bracket should rest on the surface.
5. Attach the end of the smaller tube to the bracket mounted on the pad, using the grade 5, 1/2" x 2-1/2" bolt/nut provided.
6. Attach the flag end of the larger tube to the opposite I-beam using the "J" bolt over the top of the I-beam with the nut & washer provided. (Figure 1 next page)
7. Install a minimum of four (#12 x 1" tek screws) self-tapping screws into the holes provided in the lateral strut so that the two tubes are connected together
8. Install frame bracket clamps on I-beam on the inside of block/pier.
9. Insert strut in frame bracket clamp and attach with nut & bolt. Attach opposite end to concrete bracket.
10. Pull the frame bracket clamp with fastened strut outward to remove any slack.
11. Tighten all nuts and bolts on system.

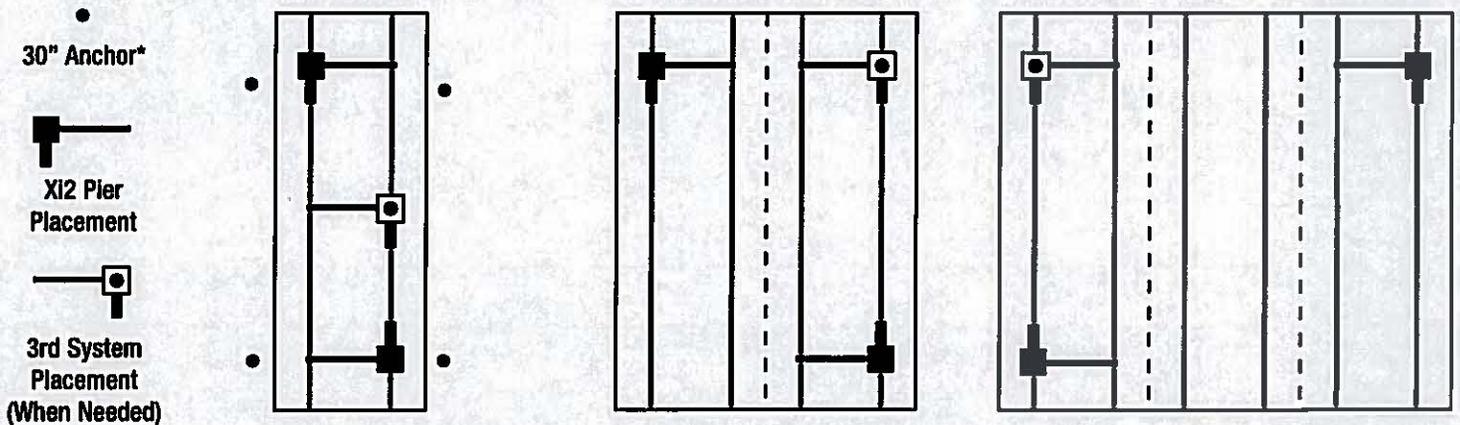


**Minimum Distance
from edge: 1-1/2"**



Xi2 Installation Placement

Xi2 Stabilization Pier Placement for Ground or Concrete

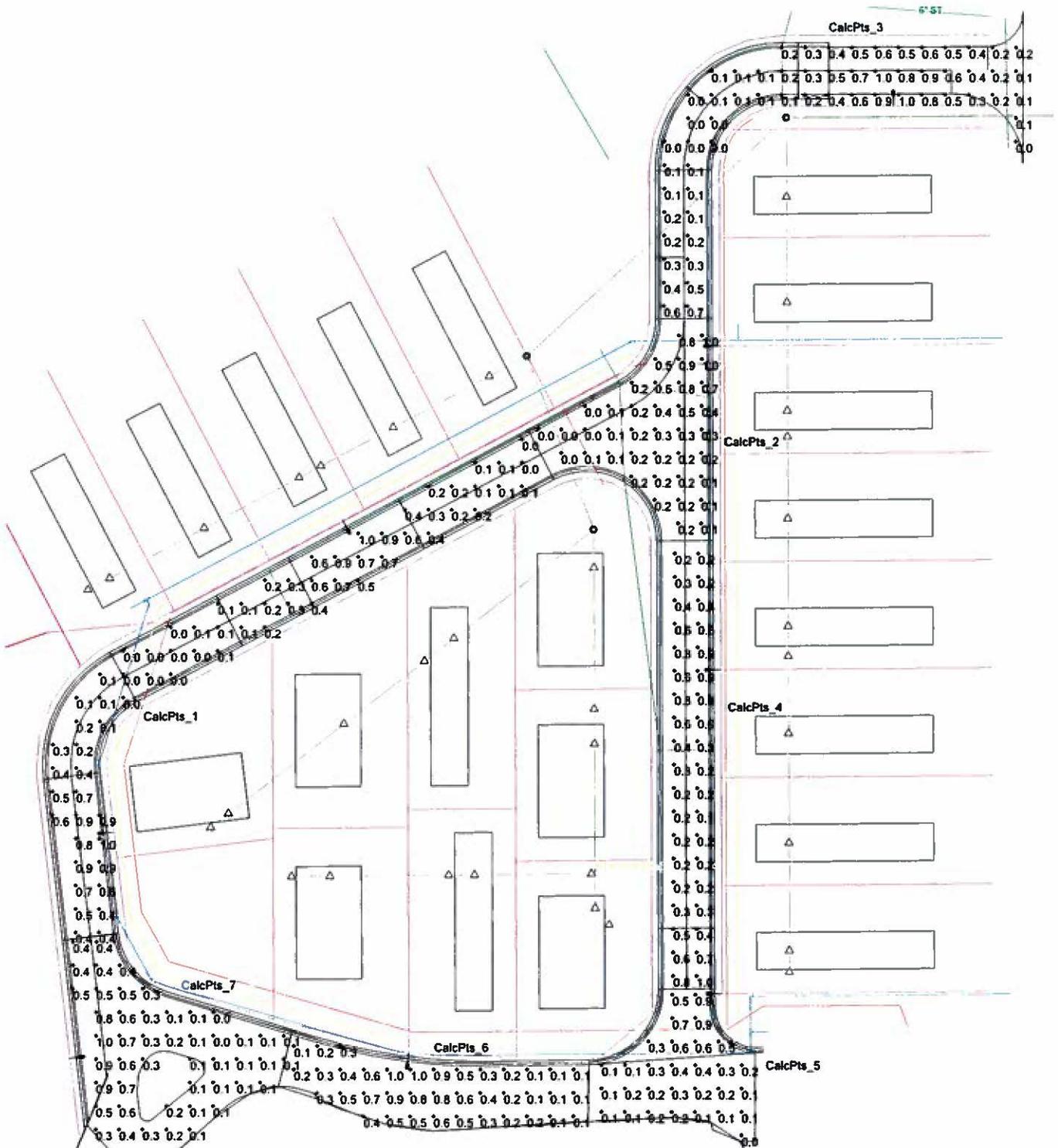


Number of Xi2 Systems Required

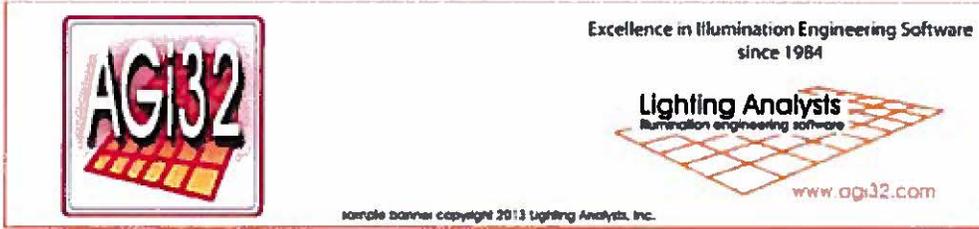
Up to 12' Wall Height	Single Section* - WZ I		Double Section - WZ I		Triple Section - WZ I	
	0 - 80' Box	2 Xi2 Systems	0 - 80' Box	2 Xi2 Systems	0 - 80' Box	2 Xi2 Systems
14' Wall Height	0 - 72' Box	2 Xi2 Systems	0 - 72' Box	2 Xi2 Systems	0 - 72' Box	2 Xi2 Systems
	76' - 80' Box	3 Xi2 Systems	76' - 80' Box	3 Xi2 Systems	76' - 80' Box	3 Xi2 Systems

* - 30" anchor with vertical strap or frame tie with stabilizer plate, within 10' of end of unit on single sections.

NOTE: Wall heights are the eave height for a building without solid skirting. If solid skirting is installed, add the skirting height and use that sum as the wall height. Tear away skirting such as vinyl is not considered solid skirting. Diagram represents single section up to 16' width, double section up to 32' width, and triple section up to 48'. For multiple section of units, determine the number of systems based on each group of 3 modules, with the remainder based on a double or single section (without anchors).



Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
CalcPts_1	Illuminance	Fc	0.35	1.0	0.0	N.A.
CalcPts_2	Illuminance	Fc	0.30	1.0	0.0	N.A.
CalcPts_3	Illuminance	Fc	0.32	1.0	0.0	N.A.
CalcPts_4	Illuminance	Fc	0.44	1.0	0.1	4.40
CalcPts_5	Illuminance	Fc	0.30	0.9	0.0	N.A.
CalcPts_6	Illuminance	Fc	0.40	1.0	0.1	4.00
CalcPts_7	Illuminance	Fc	0.31	1.0	0.0	N.A.



Photometric Report (Type C)

Filename: ge451006_tcm201-62628.ies
 [TEST] 96120302 PUBLISHED CURVE CREATED
 [TESTLAB] GE LIGHTING SOLUTIONS
 [ISSUEDATE] 12/3/1996
 [MANUFAC] GE LIGHTING SOLUTIONS www.gelightingsolutions.com
 [LUMCAT] M_CL40S__FMC3
 [LUMINAIRE] M-400 CUTOFF
 [LAMPCAT] GE LU400
 [LAMP] 1; 400W HPS, CLEAR ED18, HORZ

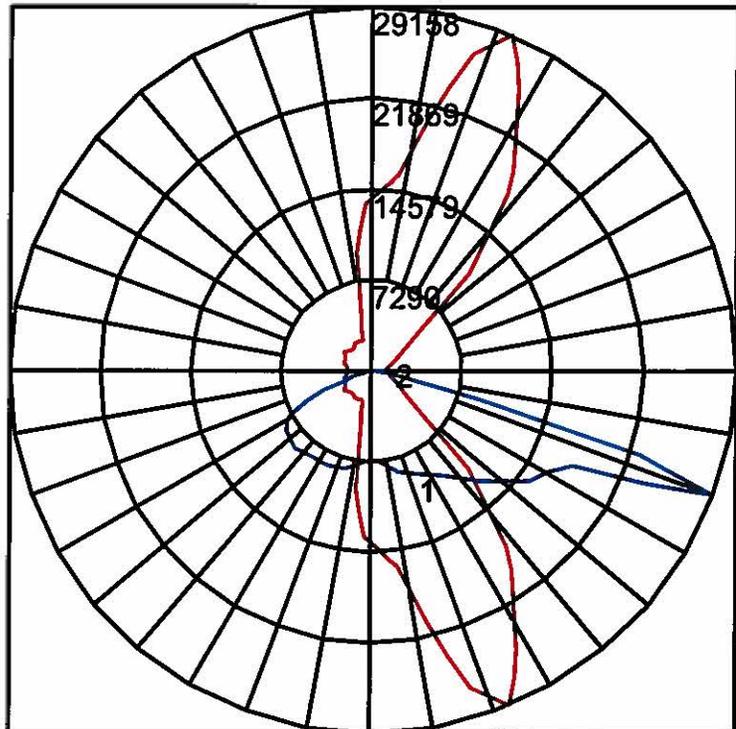
Maximum Candela = 29158.1124286652 at 67.5 H 70 V

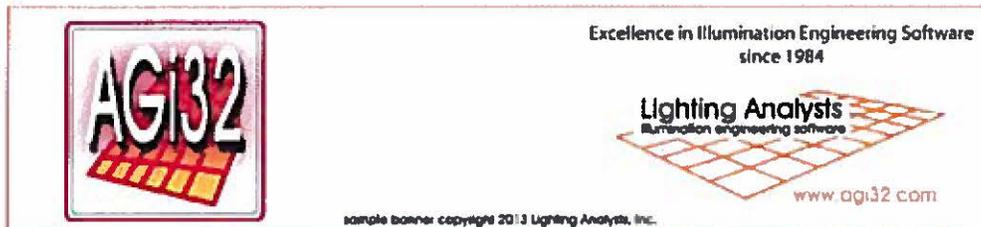
Classification:

Road Classification: Type III, Medium, Full Cutoff (deprecated)
 Upward Wast Light Ratio: 0.00
 Luminaire Efficacy Rating (LER): 60
 Indoor Classification: Direct
 BUG Rating : B2-U0-G1

Polar Candela Curves:

Vertical Plane Through:
 1) 67.5 - 247.5 Horizontal
 Horizontal Cone Through:
 2) 70 Vertical





Photometric Report (Type C)

Filename: ge451006_tcm201-62628.ies
 [TEST] 96120302 PUBLISHED CURVE CREATED
 [TESTLAB] GE LIGHTING SOLUTIONS
 [ISSUE DATE] 12/3/1996
 [MANUFAC] GE LIGHTING SOLUTIONS www.gelightingsolutions.com
 [LUMCAT] M_CL40S__FMC3
 [LUMINAIRE] M-400 CUTOFF
 [LAMPCAT] GE LU400
 [LAMP] 1; 400W HPS, CLEAR ED18, HORZ

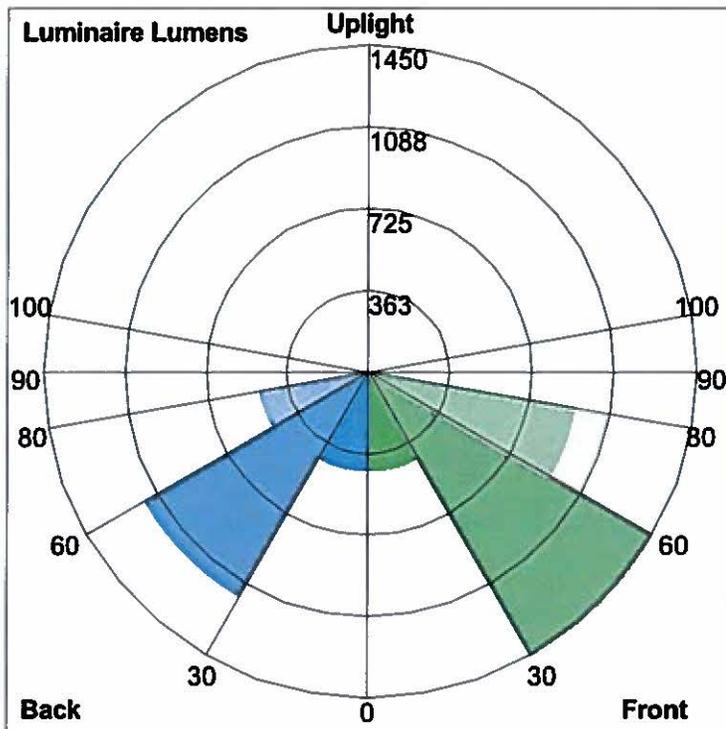
Maximum Candela = 29158.1124286652 at 67.5 H 70 V

Classification:

Road Classification: Type III, Medium, Full Cutoff (deprecated)
 Upward Waste Light Ratio: 0.00
 Luminaire Efficacy Rating (LER): 60
 Indoor Classification: Direct
 BUG Rating : B2-U0-G1

LCS Summary:

LCS Zone	Lumens	%Lamp	%Lum
FL (0-30)	438.2	6.8	9.0
FM (30-60)	1450.3	22.7	29.6
FH (60-80)	925.7	14.5	18.9
FVH (80-90)	3.2	0.0	0.1
BL (0-30)	435.9	6.8	8.9
BM (30-60)	1145.0	17.9	23.4
BH (60-80)	487.3	7.6	10.0
BVH (80-90)	5.9	0.1	0.1
UL (90-100)	0.0	0.0	0.0
UH (100-180)	0.0	0.0	0.0
Total	4891.5	76.4	100.0
BUG Rating	B2-U0-G1		



Susan Burgstrom

From: Sharon Gerth <shrngerth@gmail.com>
Sent: Wednesday, June 21, 2017 7:23 AM
To: Susan Burgstrom
Subject: Zoing Map Amendment, related to Special use Permit Waivers and a Variance under Champaign County Ordinance (Cases 869-AM-17, 870-S-17 and 871-V-17).

RE: Zoning Map Amendment related to Special use Permit Waivers and a Variance under Champaign County Zoning Ordinance (Cases 869-AM-17, 870-S-17, and 871-V-17)

Dear Ms. Burgstrom,

We are opposed to these proposed zoning changes for the following reasons:

1. The population density in this restricted area will be increased by the addition of more spaces for manufactured homes.
2. Traffic into and out of the small area will be a problem.
3. For children, there is no easy access to parks or other areas for recreation. Weaver Park has never been developed. Ambucs Park is too far for access by bicycles or walking due to busy highways. Child safety is also a concern.
4. Large stores are accessible only by car.

Sincerely yours,

Fred Gerth
Sharon Gerth

RECEIVED
JUN 21 2017
CHAMPAIGN CO P & Z DEPARTMENT



Goal 1 Planning and Public Involvement

Champaign County will attain a system of land resource management planning built on broad public involvement that supports effective decision making by the County.

Goal 1 Objectives

Objective 1.1 Guidance on Land Resource Management Decisions

Champaign County will consult the Champaign County Land Resource Management Plan (LRMP) that formally establishes County land resource management policies and serves as an important source of guidance for the making of County land resource management decisions.

Objective 1.2 Updating Officials

Champaign County will annually update County Board members with regard to land resource management conditions within the County.

Objective 1.3 Incremental Updates

Champaign County will update the LRMP, incrementally, on an annual or biannual basis to make minor changes to the LRMP or to adjust boundaries of LRMP Future Land Use Map areas to reflect current conditions, (e.g., Contiguous Urban Growth Area, or Rural Residential Area).

Objective 1.4 Comprehensive Updates

Champaign County will comprehensively update the LRMP at a regular interval of no more than 15 or less than 10 years, to allow for the utilization of available updated census data and other information.

Goal 1 Objectives and Policies

Objective 1.1 Guidance on Land Resource Management Decisions

Champaign County will consult the LRMP that formally establishes County land resource management policies and serves as an important source of guidance for the making of County land resource management decisions.

Objective 1.2 Updating Officials

Champaign County will annually update County Board members with regard to land resource management conditions within the County.

Policy 1.2.1

County planning staff will provide an annual update to County Board members with regard to land resource management conditions within the County.

Objective 1.3 Incremental Updates

Champaign County will update the LRMP, incrementally, on an annual or biannual basis to make minor changes to the LRMP or to adjust boundaries of LRMP Future Land Use Map areas to reflect current conditions, (e.g., Contiguous Urban Growth Area, or Rural Residential Area).

Policy 1.3.1

ELUC will recommend minor changes to the LRMP after an appropriate opportunity for public input is made available.

Note: The Appendix contains defined terms, shown as italicized text in this Chapter.



Objective 1.4 Comprehensive Updates

Champaign County will comprehensively update the LRMP at a regular interval of no more than 15 or less than 10 years, to allow for the utilization of available updated census data and other information.

Policy 1.4.1

A Steering Committee that is broadly representative of the constituencies in the County but weighted towards the unincorporated area will oversee comprehensive updates of the LRMP.

Policy 1.4.2

The County will provide opportunities for public input throughout any comprehensive update of the LRMP.

Goal 2 Governmental Coordination

Champaign County will collaboratively formulate land resource and development policy with other units of government in areas of overlapping land use planning jurisdiction.

Goal 2 Objectives

Objective 2.1 Local and Regional Coordination

Champaign County will coordinate land resource management planning with all County jurisdictions and, to the extent possible, in the larger region.

Objective 2.2 Information Sharing

Champaign County will work cooperatively with other units of government to ensure that the Geographic Information Systems Consortium and Regional Planning Commission have the resources to effectively discharge their responsibilities to develop, maintain and share commonly used land resource management data between local jurisdictions and County agencies that will help support land use decisions.

Goal 2 Objectives and Policies

Objective 2.1 Local and Regional Coordination

Champaign County will coordinate land resource management planning with all County jurisdictions and, to the extent possible, in the larger region.

Policy 2.1.1

The County will maintain an inventory through the LRMP, of contiguous urban growth areas where connected sanitary service is already available or is planned to be made available by a public sanitary sewer service plan, and development is intended to occur upon annexation.

Policy 2.1.2

The County will continue to work to seek a county-wide arrangement that respects and coordinates the interests of all jurisdictions and that provides for the logical extension of municipal land use jurisdiction by annexation agreements.

Note: The Appendix contains defined terms, shown as italicized text in this Chapter.



Policy 2.1.3

The County will encourage municipal adoption of plan and ordinance elements which reflect mutually consistent (County and municipality) approach to the protection of best prime farmland and other natural, historic, or cultural resources.

Objective 2.2 Information Sharing

Champaign County will work cooperatively with other units of government to ensure that the Geographic Information Systems Consortium and Regional Planning Commission have the resources to effectively discharge their responsibilities to develop, maintain and share commonly used land resource management data between local jurisdictions and County agencies that will help support land use decisions.

Goal 3 Prosperity

Champaign County will encourage economic growth and development to ensure prosperity for its residents and the region.

Goal 3 Objectives

Objective 3.1 Business Climate

Champaign County will seek to ensure that it maintains comparable tax rates and fees, and a favorable business climate relative to similar counties.

Objective 3.2 Efficient County Administration

Champaign County will ensure that its regulations are administrated efficiently and do not impose undue costs or delays on persons seeking permits or other approvals.

Objective 3.3 County Economic Development Policy

Champaign County will maintain an updated Champaign County Economic Development Policy that is coordinated with and supportive of the LRMP.

Goal 4 Agriculture

Champaign County will protect the long term viability of agriculture in Champaign County and its land resource base.

Goal 4 Objectives

Objective 4.1 Agricultural Land Fragmentation and Conservation

Champaign County will strive to minimize the fragmentation of the County's agricultural land base and conserve farmland, generally applying more stringent development standards on best prime farmland.

Objective 4.2 Development Conflicts with Agricultural Operations

Champaign County will require that each *discretionary review* development will not interfere with agricultural operations.

continued

Note: The Appendix contains defined terms, shown as italicized text in this Chapter.

**Objective 4.3 Site Suitability for Discretionary Review Development**

Champaign County will require that each *discretionary review* development is located on a suitable site.

Objective 4.4 Regulations for Rural Residential Discretionary Review

Champaign County will update County regulations that pertain to rural residential *discretionary review* developments to best provide for site specific conditions by 2010.

Objective 4.5 LESA Site Assessment Review and Updates

By the year 2012, Champaign County will review the Site Assessment portion of the Champaign County Land Evaluation and Site Assessment System (LESA) for possible updates; thereafter, the County will periodically review the site assessment portion of LESA for potential updates at least once every 10 years.

Objective 4.6 Protecting Productive Farmland

Champaign County will seek means to encourage and protect productive farmland within the County.

Objective 4.7 Right to Farm Resolution

Champaign County affirms County Resolution 3425 pertaining to the right to farm in Champaign County.

Objective 4.8 Locally Grown Foods

Champaign County acknowledges the importance of and encourages the production, purchase, and consumption of locally grown food.

Objective 4.9 Landscape Character

Champaign County will seek to preserve the landscape character of the agricultural and *rural* areas of the County, and, at the same time, allow for potential *discretionary development* that supports agriculture or involves a product or service that is provided better in a *rural* area.

Goal 4 Objectives and Policies

Objective 4.1 Agricultural Land Fragmentation and Conservation

Champaign County will strive to minimize the fragmentation of the County's agricultural land base and conserve farmland, generally applying more stringent development standards on *best prime farmland*.

Policy 4.1.1

Commercial agriculture is the highest and best use of land in the areas of Champaign County that are by virtue of topography, soil and drainage, suited to its pursuit. The County will not accommodate other land uses except under very restricted conditions or in areas of less productive soils.

Policy 4.1.2

The County will guarantee all landowners a *by right development* allowance to establish a non-agricultural use, provided that public health, safety and site development regulations (e.g., floodplain and zoning regulations) are met.

Policy 4.1.3

The *by right development* allowance is intended to ensure legitimate economic use of all property. The County understands that continued agricultural use alone constitutes a



reasonable economic use of *best prime farmland* and the *by right development* allowance alone does not require accommodating non-farm development beyond the *by right development* allowance on such land.

Policy 4.1.4 The County will guarantee landowners of one or more lawfully created lots that are recorded or lawfully conveyed and are considered a *good zoning lot* (i.e., a lot that meets County zoning requirements in effect at the time the lot is created) the *by right development* allowance to establish a new single family dwelling or non-agricultural land use on each such lot, provided that current public health, safety and transportation standards are met.

Policy 4.1.5

a. The County will allow landowner by *right development* that is generally proportionate to tract size, created from the January 1, 1998 configuration of tracts on lots that are greater than five acres in area, with:

- 1 new lot allowed per parcel less than 40 acres in area;
- 2 new lots allowed per parcel 40 acres or greater in area provided that the total amount of acreage of *best prime farmland* for new by right lots does not exceed three acres per 40 acres; and
- 1 authorized land use allowed on each vacant *good zoning lot* provided that public health and safety standards are met.

b. The County will not allow further division of parcels that are 5 acres or less in size.

Policy 4.1.6 Provided that the use, design, site and location are consistent with County policies regarding:

- i. suitability of the site for the proposed use;
- ii. adequacy of infrastructure and public services for the proposed use;
- iii. minimizing conflict with agriculture;
- iv. minimizing the conversion of farmland; and
- v. minimizing the disturbance of natural areas,

then,

a) on *best prime farmland*, the County may authorize discretionary residential development subject to a limit on total acres converted which is generally proportionate to tract size and is based on the January 1, 1998 configuration of tracts, with the total amount of acreage converted to residential use (inclusive of *by-right development*) not to exceed three acres plus three acres per each 40 acres (including any existing right-of-way), but not to exceed 12 acres in total; or

b) on *best prime farmland*, the County may authorize non-residential *discretionary development*; or

c) the County may authorize *discretionary review* development on tracts consisting of other than *best prime farmland*.

Policy 4.1.7

To minimize the conversion of *best prime farmland*, the County will require a maximum lot size limit on new lots established as *by right development* on *best prime farmland*.

Policy 4.1.8

The County will consider the LESA rating for farmland protection when making land use decisions regarding a *discretionary development*.

Policy 4.1.9

The County will set a minimum lot size standard for a farm residence on land used for agricultural purposes.



Objective 4.2 Development Conflicts with Agricultural Operations

Champaign County will require that each *discretionary review* development will not interfere with agricultural operations.

Policy 4.2.1

The County may authorize a proposed business or other non-residential *discretionary review* development in a *rural* area if the proposed development supports agriculture or involves a product or service that is provided better in a *rural* area than in an urban area.

Policy 4.2.2

The County may authorize *discretionary review* development in a *rural* area if the proposed development:

- a. is a type that does not negatively affect agricultural activities; or
- b. is located and designed to minimize exposure to any negative affect caused by agricultural activities; and
- c. will not interfere with agricultural activities or damage or negatively affect the operation of agricultural drainage systems, *rural* roads, or other agriculture-related infrastructure.

Policy 4.2.3

The County will require that each proposed *discretionary development* explicitly recognize and provide for the right of agricultural activities to continue on adjacent land.

Policy 4.2.4

To reduce the occurrence of agricultural land use and non-agricultural land use nuisance conflicts, the County will require that all *discretionary review* consider whether a buffer between existing agricultural operations and the proposed development is necessary.

Objective 4.3 Site Suitability for Discretionary Review Development

Champaign County will require that each *discretionary review* development is located on a suitable site.

Policy 4.3.1

On other than *best prime farmland*, the County may authorize a *discretionary review* development provided that the site with proposed improvements is *suited overall* for the proposed land use.

Policy 4.3.2

On *best prime farmland*, the County may authorize a *discretionary review* development provided the site with proposed improvements is *well-suited overall* for the proposed land use.

Policy 4.3.3

The County may authorize a *discretionary review* development provided that existing public services are adequate to support to the proposed development effectively and safely without undue public expense.

Policy 4.3.4

The County may authorize a *discretionary review* development provided that existing public infrastructure, together with proposed improvements, is adequate to support the proposed development effectively and safely without undue public expense.

**Policy 4.3.5**

On *best prime farmland*, the County will authorize a business or other non-residential use only if:

- a. it also serves surrounding agricultural uses or an important public need; and cannot be located in an urban area or on a less productive site; or
- b. the use is otherwise appropriate in a *rural* area and the site is very well suited to it.

Objective 4.4 Regulations for Rural Residential *Discretionary Review*

Champaign County will update County regulations that pertain to *rural* residential *discretionary review* developments to best provide for site specific conditions by 2010.

Objective 4.5 LESA Site Assessment Review and Updates

By the year 2012, Champaign County will review the Site Assessment portion of the LESA for possible updates; thereafter, the County will periodically review the site assessment portion of LESA for potential updates at least once every 10 years.

Objective 4.6 Protecting Productive Farmland

Champaign County will seek means to encourage and protect productive farmland within the County.

Policy 4.6.1 The County will utilize, as may be feasible, tools that allow farmers to permanently preserve farmland.

Policy 4.6.2 The County will support legislation that promotes the conservation of agricultural land and related natural resources in Champaign County provided that legislation proposed is consistent with County policies and ordinances, including those with regard to landowners' interests.

Policy 4.6.3 The County will implement the agricultural purposes exemption, subject to applicable statutory and constitutional restrictions, so that all full- and part-time farmers and retired farmers will be assured of receiving the benefits of the agricultural exemption even if some non-farmers receive the same benefits.

Objective 4.7 Right to Farm Resolution

Champaign County affirms County Resolution 3425 pertaining to the right to farm in Champaign County.

Objective 4.8 Locally Grown Foods

Champaign County acknowledges the importance of and encourages the production, purchase, and consumption of locally grown food.

Objective 4.9 Landscape Character

Champaign County will seek to preserve the landscape character of the agricultural and *rural* areas of the County, and, at the same time, allow for potential *discretionary development* that supports agriculture or involves a product or service that is provided better in a *rural* area.

Policy 4.9.1

The County will develop and adopt standards to manage the visual and physical characteristics of *discretionary development* in *rural* areas of the County.



Goal 5 Urban Land Use

Champaign County will encourage *urban development* that is compact and contiguous to existing cities, villages, and existing unincorporated settlements.

Goal 5 Objectives

Objective 5.1 Population Growth and Economic Development

Champaign County will strive to ensure that the preponderance of population growth and economic development is accommodated by new *urban development* in or adjacent to existing population centers.

Objective 5.2 Natural Resources Stewardship

When new *urban development* is proposed, Champaign County will encourage that such development demonstrates good stewardship of natural resources

Objective 5.3 Adequate Public Infrastructure and Services

Champaign County will oppose proposed new *urban development* unless adequate utilities, infrastructure, and *public services* are provided.

Goal 5 Objectives and Policies

Objective 5.1 Population Growth and Economic Development

Champaign County will strive to ensure that the preponderance of population growth and economic development is accommodated by new *urban development* in or adjacent to existing population centers.

Policy 5.1.1

The County will encourage new *urban development* to occur within the boundaries of incorporated municipalities.

Policy 5.1.2

- a. The County will encourage that only compact and contiguous *discretionary development* occur within or adjacent to existing villages that have not yet adopted a municipal comprehensive land use plan.
- b. The County will require that only compact and contiguous *discretionary development* occur within or adjacent to existing unincorporated settlements.

Policy 5.1 3

The County will consider municipal extra-territorial jurisdiction areas that are currently served by or that are planned to be served by an available public sanitary sewer service plan as contiguous urban growth areas which should develop in conformance with the relevant municipal comprehensive plans. Such areas are identified on the Future Land Use Map.

Policy 5.1.4

The County may approve *discretionary development* outside contiguous urban growth areas, but within municipal extra-territorial jurisdiction areas only if:

- a. the development is consistent with the municipal comprehensive plan and relevant municipal requirements;
- b. the site is determined to be *well-suited overall* for the development if on *best prime farmland* or the site is *suited overall*, otherwise; and
- c. the development is generally consistent with all relevant LRMP objectives and policies.

Note: The Appendix contains defined terms, shown as italicized text in this Chapter.

**Policy 5.1 5**

The County will encourage *urban development* to explicitly recognize and provide for the right of agricultural activities to continue on adjacent land.

Policy 5.1.6

To reduce the occurrence of agricultural land use and non-agricultural land use nuisance conflicts, the County will encourage and, when deemed necessary, will require discretionary development to create a sufficient buffer between existing agricultural operations and the proposed *urban development*.

Policy 5.1.7

The County will oppose new *urban development* or development authorized pursuant to a municipal annexation agreement that is located more than one and one half miles from a municipality's corporate limit unless the Champaign County Board determines that the development is otherwise consistent with the LRMP, and that such extraordinary exercise of extra-territorial jurisdiction is in the interest of the County as a whole.

Policy 5.1.8

The County will support legislative initiatives or intergovernmental agreements which specify that property subject to annexation agreements will continue to be under the ordinances, control, and jurisdiction of the County until such time that the property is actually annexed, except that within 1-1/2 miles of the corporate limit of a municipality with an adopted comprehensive land use plan, the subdivision ordinance of the municipality shall apply.

Policy 5.1.9

The County will encourage any new *discretionary development* that is located within municipal extra-territorial jurisdiction areas and subject to an annexation agreement (but which is expected to remain in the unincorporated area) to undergo a coordinated municipal and County review process, with the municipality considering any *discretionary development* approval from the County that would otherwise be necessary without the annexation agreement.

Objective 5.2 Natural Resources Stewardship

When new *urban development* is proposed, Champaign County will encourage that such development demonstrates good stewardship of natural resources.

Policy 5.2.1

The County will encourage the reuse and redevelopment of older and vacant properties within *urban land* when feasible.

Policy 5.2 2

The County will:

- a. ensure that *urban development* proposed on *best prime farmland* is efficiently designed in order to avoid unnecessary conversion of such farmland; and
- b. encourage, when possible, other jurisdictions to ensure that *urban development* proposed on *best prime farmland* is efficiently designed in order to avoid unnecessary conversion of such farmland.

Policy 5.2.3

The County will:

- a. require that proposed new *urban development* results in no more than minimal disturbance to areas with significant natural environmental quality; and



- b. encourage, when possible, other jurisdictions to require that proposed new *urban development* results in no more than minimal disturbance to areas with significant natural environmental quality.

Objective 5.3 Adequate Public Infrastructure and Services

Champaign County will oppose proposed new *urban development* unless adequate utilities, infrastructure, and *public services* are provided.

Policy 5.3.1

The County will:

- a. require that proposed new *urban development* in unincorporated areas is sufficiently served by available *public services* and without undue public expense; and
- b. encourage, when possible, other jurisdictions to require that proposed new *urban development* is sufficiently served by available *public services* and without undue public expense.

Policy 5.3.2

The County will:

- a. require that proposed new *urban development*, with proposed improvements, will be adequately served by *public infrastructure*, and that related needed improvements to *public infrastructure* are made without undue public expense; and
- b. encourage, when possible, other jurisdictions to require that proposed new *urban development*, with proposed improvements, will be adequately served by *public infrastructure*, and that related needed improvements to *public infrastructure* are made without undue public expense.

Policy 5.3.3

The County will encourage a regional cooperative approach to identifying and assessing the incremental costs of public utilities and services imposed by new development.

Goal 6 Public Health and Public Safety

Champaign County will ensure protection of the public health and public safety in land resource management decisions.

Goal 6 Objectives

Objective 6.1 Protect Public Health and Safety

Champaign County will seek to ensure that *rural* development does not endanger public health or safety.

Objective 6.2 Public Assembly Land Uses

Champaign County will seek to ensure that public assembly, dependent population, and multifamily land uses provide safe and secure environments for their occupants.

Objective 6.3 Development Standards

Champaign County will seek to ensure that all new non-agricultural construction in the unincorporated area will comply with a building code by 2015.

Objective 6.4 Countywide Waste Management Plan

Champaign County will develop an updated Champaign County Waste Management Plan by 2015 to address the re-use, recycling, and safe disposal of wastes including: landscape waste; agricultural waste; construction/demolition debris; hazardous waste; medical waste; and municipal solid waste.

Note: The Appendix contains defined terms, shown as italicized text in this Chapter.



Goal 6 Objectives and Policies

Objective 6.1 Protect Public Health and Safety

Champaign County will seek to ensure that development in unincorporated areas of the County does not endanger public health or safety.

Policy 6.1.1

The County will establish minimum lot location and dimension requirements for all new *rural* residential development that provide ample and appropriate areas for onsite wastewater and septic systems.

Policy 6.1.2

The County will ensure that the proposed wastewater disposal and treatment systems of *discretionary development* will not endanger public health, create nuisance conditions for adjacent uses, or negatively impact surface or groundwater quality.

Policy 6.1.3

The County will seek to prevent nuisances created by light and glare and will endeavor to limit excessive night lighting, and to preserve clear views of the night sky throughout as much of the County as possible.

Policy 6.1.4

The County will seek to abate blight and to prevent and rectify improper dumping.

Objective 6.2 Public Assembly Land Uses

Champaign County will seek to ensure that public assembly, dependent population, and multifamily land uses provide safe and secure environments for their occupants.

Policy 6.2.1 The County will require public assembly, dependent population, and multifamily premises built, significantly renovated, or established after 2010 to comply with the Office of State Fire Marshal life safety regulations or equivalent.

Policy 6.2.2 The County will require Champaign County Liquor Licensee premises to comply with the Office of State Fire Marshal life safety regulations or equivalent by 2015.

Policy 6.2.3 The County will require Champaign County Recreation and Entertainment Licensee premises to comply with the Office of State Fire Marshal life safety regulations or equivalent by 2015.

Objective 6.3 Development Standards

Champaign County will seek to ensure that all new non-agricultural construction in the unincorporated area will comply with a building code by 2015.

Objective 6.4 Countywide Waste Management Plan

Champaign County will develop an updated Champaign County Waste Management Plan by 2015 to address the re-use, recycling, and safe disposal of wastes including: landscape waste; agricultural waste; construction/demolition debris; hazardous waste; medical waste; and municipal solid waste.



Goal 7 Transportation

Champaign County will coordinate land use decisions in the unincorporated area with the existing and planned transportation infrastructure and services.

Goal 7 Objectives

Objective 7.1 Traffic Impact Analyses

Champaign County will consider traffic impact in all land use decisions and coordinate efforts with other agencies when warranted.

Objective 7.2 Countywide Transportation System

Champaign County will strive to attain a countywide transportation network including a variety of transportation modes which will provide rapid, safe, and economical movement of people and goods.

Goal 7 Objectives and Policies

Objective 7.1 Traffic Impact Analyses

Champaign County will consider traffic impact in all land use decisions and coordinate efforts with other agencies when warranted.

Policy 7.1.1

The County will include traffic impact analyses in *discretionary review* development proposals with significant traffic generation.

Objective 7.2 Countywide Transportation System

Champaign County will strive to attain a countywide transportation network including a variety of transportation modes which will provide rapid, safe, and economical movement of people and goods.

Policy 7.2.1

The County will encourage development of a multi-jurisdictional countywide transportation plan that is consistent with the LRMP.

Policy 7.2.2

The County will encourage the maintenance and improvement of existing County railroad system lines and services.

Policy 7.2.3

The County will encourage the maintenance and improvement of the existing County road system, considering fiscal constraints, in order to promote agricultural production and marketing.

Policy 7.2.4

The County will seek to implement the County's Greenways and Trails Plan.

Policy 7.2.5

The County will seek to prevent establishment of incompatible *discretionary development* in areas exposed to noise and hazards of vehicular, aircraft and rail transport.

Policy 7.2.6

The County will seek to protect *public infrastructure* elements which exhibit unique scenic, cultural, or historic qualities.

Note: The Appendix contains defined terms, shown as italicized text in this Chapter.



Goal 8 Natural Resources

Champaign County will strive to conserve and enhance the County's landscape and natural resources and ensure their sustainable use.

Goal 8 Objectives

Objective 8.1 Groundwater Quality and Availability

Champaign County will strive to ensure adequate and safe supplies of groundwater at reasonable cost for both human and ecological purposes.

Objective 8.2 Soil

Champaign County will strive to conserve its soil resources to provide the greatest benefit to current and future generations.

Objective 8.3 Underground Mineral and Energy Resource Extraction

Champaign County will work to ensure future access to its underground mineral and energy resources and to ensure that their extraction does not create nuisances or detract from the long-term beneficial use of the affected property.

Objective 8.4 Surface Water Protection

Champaign County will work to ensure that new development and ongoing land management practices maintain and improve surface water quality, contribute to stream channel stability, and minimize erosion and sedimentation.

Objective 8.5 Aquatic and Riparian Ecosystems

Champaign County will encourage the maintenance and enhancement of aquatic and riparian habitats.

Objective 8.6 Natural Areas and Habitat

Champaign County will encourage resource management which avoids loss or degradation of areas representative of the *pre-settlement environment* and other areas that provide habitat for native and game species.

Objective 8.7 Parks and Preserves

Champaign County will work to protect existing investments in *rural* parkland and natural area preserves and will encourage the establishment of new public *parks and preserves* and protected private lands.

Objective 8.8 Air Pollutants

Champaign County considers the atmosphere a valuable resource and will seek to minimize harmful impacts to it and work to prevent and reduce the discharge of ozone precursors, acid rain precursors, toxics, dust and aerosols that are harmful to human health.

Objective 8.9 Natural Resources Assessment System

Champaign County will, by the year 2016, adopt a natural resources specific assessment system that provides a technical framework to numerically rank land parcels based on local resource evaluation and site considerations, including: groundwater resources; soil and mineral resources; surface waters; aquatic and riparian ecosystems; natural areas; parks and preserves; known cultural resources; and air quality.

Note: The Appendix contains defined terms, shown as italicized text in this Chapter.



Goal 8 Objectives and Policies

Objective 8.1 Groundwater Quality and Availability

Champaign County will strive to ensure adequate and safe supplies of groundwater at reasonable cost for both human and ecological purposes.

Policy 8.1.1

The County will not approve *discretionary development* using on-site water wells unless it can be reasonably assured that an adequate supply of water for the proposed use is available without impairing the supply to any existing well user.

Policy 8.1.2

The County will encourage regional cooperation in protecting the quality and availability of groundwater from the Mahomet Aquifer.

Policy 8.1.3

As feasible, the County will seek to ensure that withdrawals from the Mahomet Aquifer and other aquifers do not exceed the long-term sustainable yield of the aquifer including withdrawals under potential drought conditions, particularly for shallow aquifers.

Policy 8.1.4

To the extent that distinct recharge areas are identified for any aquifers, the County will work to prevent development of such areas that would significantly impair recharge to the aquifers.

Policy 8.1.5

To the extent that groundwater in the County is interconnected with surface waters, the County will work to ensure that groundwater contributions to natural surface hydrology are not disrupted by groundwater withdrawals by *discretionary development*.

Policy 8.1.6

The County will encourage the development and refinement of knowledge regarding the geology, hydrology, and other features of the County's groundwater resources.

Policy 8.1.7

The County will ensure that existing and new developments do not pollute the groundwater supply.

Policy 8.1.8

The County will protect community well heads, distinct aquifer recharge areas and other critical areas from potential sources of groundwater pollution.

Policy 8.1.9

The County will work to ensure the remediation of contaminated land or groundwater and the elimination of potential contamination pathways.

Objective 8.2 Soil

Champaign County will strive to conserve its soil resources to provide the greatest benefit to current and future generations.

**Policy 8.2.1**

The County will strive to minimize the destruction of its soil resources by non-agricultural development and will give special consideration to the protection of *best prime farmland*. *Best prime farmland* is that comprised of soils that have a Relative Value of at least 85 and includes land parcels with mixed soils that have a Land Evaluation score of 85 or greater as defined in the LESA.

Objective 8.3 Underground Mineral and Energy Resource Extraction

Champaign County will work to ensure future access to its underground mineral and energy resources and to ensure that their extraction does not create nuisances or detract from the long-term beneficial use of the affected property.

Policy 8.3.1

The County will allow expansion or establishment of underground mineral and energy resource extraction operations only if:

- a) the operation poses no significant adverse impact to existing land uses;
- b) the operation creates no significant adverse impact to surface water quality or other natural resources; and
- c) provisions are made to fully reclaim the site for a beneficial use.

Objective 8.4 Surface Water Protection

Champaign County will work to ensure that new development and ongoing land management practices maintain and improve surface water quality, contribute to stream channel stability, and minimize erosion and sedimentation.

Policy 8.4.1

The County will incorporate the recommendations of adopted watershed plans in its policies, plans, and investments and in its *discretionary review* of new development.

Policy 8.4.2

The County will require stormwater management designs and practices that provide effective site drainage, protect downstream drainage patterns, minimize impacts on adjacent properties and provide for stream flows that support healthy aquatic ecosystems.

Policy 8.4.3

The County will encourage the implementation of agricultural practices and land management that promotes good drainage while maximizing stormwater infiltration and aquifer recharge.

Policy 8.4.4

The County will ensure that point discharges including those from new development, and including surface discharging on-site wastewater systems, meet or exceed state and federal water quality standards.

Policy 8.4.5

The County will ensure that non-point discharges from new development meet or exceed state and federal water quality standards.

Policy 8.4.6

The County recognizes the importance of the drainage districts in the operation and maintenance of drainage.



Objective 8.5 Aquatic and Riparian Ecosystems

Champaign County will encourage the maintenance and enhancement of aquatic and riparian habitats.

Policy 8.5.1

For *discretionary development*, the County will require land use patterns, site design standards and land management practices that, wherever possible, preserve existing habitat, enhance degraded habitat and restore habitat.

Policy 8.5.2

The County will require in its *discretionary review* that new development cause no more than minimal disturbance to the stream corridor environment.

Policy 8.5.3

The County will encourage the preservation and voluntary restoration of wetlands and a net increase in wetland habitat acreage.

Policy 8.5.4

The County will support efforts to control and eliminate invasive species.

Policy 8.5.5

The County will promote drainage system maintenance practices that provide for effective drainage, promote channel stability, minimize erosion and sedimentation, minimize ditch maintenance costs and, when feasible, support healthy aquatic ecosystems.

Objective 8.6 Natural Areas and Habitat

Champaign County will encourage resource management which avoids loss or degradation of areas representative of the *pre-settlement environment* and other areas that provide habitat for native and game species.

Policy 8.6.1

The County will encourage educational programs to promote sound environmental stewardship practices among private landowners.

Policy 8.6.2

- a. For new development, the County will require land use patterns, site design standards and land management practices to minimize the disturbance of existing areas that provide habitat for native and game species, or to mitigate the impacts of unavoidable disturbance to such areas.
- b. With regard to *by-right development* on *good zoning lots*, or the expansion thereof, the County will not require new zoning regulations to preserve or maintain existing onsite areas that provide habitat for native and game species, or new zoning regulations that require mitigation of impacts of disturbance to such onsite areas.

Policy 8.6.3

For *discretionary development*, the County will use the Illinois Natural Areas Inventory and other scientific sources of information to identify priority areas for protection or which offer the potential for restoration, preservation, or enhancement.

Policy 8.6.4

The County will require implementation of IDNR recommendations for *discretionary development* sites that contain endangered or threatened species, and will seek to ensure that recommended management practices are maintained on such sites.

**Policy 8.6.5**

The County will continue to allow the reservation and establishment of private and public hunting grounds where conflicts with surrounding land uses can be minimized.

Policy 8.6.6

The County will encourage the purchase, donation, or transfer of development rights and the like, by public and private entities, of significant natural areas and habitat for native and game species for the purpose of preservation.

Objective 8.7 Parks and Preserves

Champaign County will work to protect existing investments in *rural* parkland and natural area preserves and will encourage the establishment of new public parks and preserves and protected private lands.

Policy 8.7.1

The County will require that the location, site design and land management of *discretionary development* minimize disturbance of the natural quality, habitat value and aesthetic character of existing public and private parks and preserves.

Policy 8.7.2

The County will strive to attract alternative funding sources that assist in the establishment and maintenance of parks and preserves in the County.

Policy 8.7.3

The County will require that *discretionary development* provide a reasonable contribution to support development of parks and preserves.

Policy 8.7.4

The County will encourage the establishment of public-private partnerships to conserve woodlands and other significant areas of natural environmental quality in Champaign County.

Policy 8.7.5

The County will implement, where possible, incentives to encourage land development and management practices that preserve, enhance natural areas, wildlife habitat and/or opportunities for hunting and other recreational uses on private land.

Policy 8.7.6 The County will support public outreach and education regarding site-specific natural resource management guidelines that landowners may voluntarily adopt.

Objective 8.8 Air Pollutants

Champaign County considers the atmosphere a valuable resource and will seek to minimize harmful impacts to it and work to prevent and reduce the discharge of ozone precursors, acid rain precursors, toxics, dust and aerosols that are harmful to human health.

Policy 8.8.1 The County will require compliance with all applicable Illinois Environmental Protection Agency and Illinois Pollution Control Board standards for air quality when relevant in *discretionary review* development.

Policy 8.8.2 In reviewing proposed *discretionary development*, the County will identify existing sources of air pollutants and will avoid locating sensitive land uses where occupants will be affected by such discharges.



Objective 8.9 Natural Resources Assessment System

Champaign County will, by the year 2016, adopt a natural resources specific assessment system that provides a technical framework to numerically rank land parcels based on local resource evaluation and site considerations, including: groundwater resources; soil and mineral resources; surface waters; aquatic and riparian ecosystems; natural areas; parks and preserves; known cultural resources; and air quality.

Goal 9 Energy Conservation

Champaign County will encourage energy conservation, efficiency, and the use of renewable energy sources.

Goal 9 Objectives

Objective 9.1 Reduce Greenhouse Gases

Champaign County will seek to reduce the discharge of greenhouse gases.

Objective 9.2 Energy Efficient Buildings

Champaign County will encourage energy efficient building design standards.

Objective 9.3 Land Use and Transportation Policies

Champaign County will encourage land use and transportation planning policies that maximize energy conservation and efficiency.

Objective 9.4 Reuse and Recycling

Champaign County will promote efficient resource use and re-use and recycling of potentially recyclable materials.

Objective 9.5 Renewable Energy Sources

Champaign County will encourage the development and use of renewable energy sources where appropriate and compatible with existing land uses.

Goal 9 Objectives and Policies

Objective 9.1 Reduce Greenhouse Gases

Champaign County will seek to reduce the discharge of greenhouse gases.

Policy 9.1.1

The County will promote land use patterns, site design standards and land management practices that minimize the discharge of greenhouse gases.

Policy 9.1.2

The County will promote energy efficient building design standards.

Policy 9.1.3

The County will strive to minimize the discharge of greenhouse gases from its own facilities and operations.

Objective 9.2 Energy Efficient Buildings

Champaign County will encourage energy efficient building design standards.

Note: The Appendix contains defined terms, shown as italicized text in this Chapter.

**Policy 9.2.1**

The County will enforce the Illinois Energy Efficient Commercial Building Act (20 ILCS 3125/1).

Policy 9.2.2

The County will strive to incorporate and utilize energy efficient building design in its own facilities.

Objective 9.3 Land Use and Transportation Policies

Champaign County will encourage land use and transportation planning policies that maximize energy conservation and efficiency.

Objective 9.4 Reuse and Recycling

Champaign County will promote efficient resource use and re-use and recycling of potentially recyclable materials.

Objective 9.5 Renewable Energy Sources

Champaign County will encourage the development and use of renewable energy sources where appropriate and compatible with existing land uses.

Goal 10 Cultural Amenities

Champaign County will promote the development and preservation of cultural amenities that contribute to a high quality of life for its citizens.

Goal 10 Objective**Objective 10.1 Cultural Amenities**

Champaign County will encourage the development and maintenance of cultural, educational, recreational, and other amenities that contribute to the quality of life of its citizens.

Goal 10 Objectives and Policy**Objective 10.1 Cultural Amenities**

Champaign County will encourage the development and maintenance of cultural, educational, recreational, and other amenities that contribute to the quality of life of its citizens.

Policy 10.1.1

The County will work to identify historic structures, places and landscapes in the County.

Note: The Appendix contains defined terms, shown as italicized text in this Chapter.

APPENDIX

DEFINED TERMS

The following defined terms can be found in italics within the text of the LRMP Volume 2 Chapters: Goals, Objectives and Policies; Future Land Use Map; and Implementation Strategy.

best prime farmland

'Best prime farmland' consists of soils identified in the Champaign County Land Evaluation and Site Assessment (LESA) System with a Relative Value of 85 or greater and tracts of land with mixed soils that have a LESA System Land Evaluation rating of 85 or greater.

by right development

'By right development' is a phrase that refers to the limited range of new land uses that may be established in unincorporated areas of the County provided only that subdivision and zoning regulations are met and that a Zoning Use Permit is issued by the County's Planning and Zoning Department. At the present time, 'by right' development generally consists of one (or a few, depending on tract size) single family residences, or a limited selection of other land uses. Zoning Use Permits are applied for 'over-the-counter' at the County Planning & Zoning Department, and are typically issued—provided the required fee has been paid and all site development requirements are met—within a matter of days.

contiguous urban growth area

Unincorporated land within the County that meets one of the following criteria:

- land designated for urban land use on the future land use map of an adopted municipal comprehensive land use plan, intergovernmental plan or special area plan, and located within the service area of a public sanitary sewer system with existing sewer service or sewer service planned to be available in the near- to mid-term (over a period of the next five years or so).
- land to be annexed by a municipality and located within the service area of a public sanitary sewer system with existing sewer service or sewer service planned to be available in the near- to mid-term (over a period of the next five years or so); or
- land surrounded by incorporated land or other urban land within the County.

discretionary development

A non-agricultural land use that may occur only if a Special Use Permit or Zoning Map Amendment is granted by the County.

discretionary review

The County may authorize certain non-agricultural land uses in unincorporated areas of the County provided that a public review process takes place and provided that the County Board or County Zoning Board of Appeals (ZBA) finds that the development meets specified criteria and approves the development request. This is referred to as the 'discretionary review' process.

The discretionary review process includes review by the County ZBA and/or County Board of a request for a Special Use or a Zoning Map Amendment. For 'discretionary review' requests, a

discretionary review (continued)

public hearing occurs before the County ZBA. Based on careful consideration of County [LRMP] goals, objectives and policies and on specific criteria, the ZBA and/or County Board, at their discretion, may or may not choose to approve the request.

good zoning lot (commonly referred to as a 'conforming lot')

A lot that meets all County zoning, applicable County or municipal subdivisions standards, and other requirements in effect at the time the lot is created.

parks and preserves

Public land established for recreation and preservation of the environment or privately owned land that is participating in a conservation or preservation program

pre-settlement environment

When used in reference to outlying Champaign County areas, this phrase refers to the predominant land cover during the early 1800s, when prairie comprised approximately 92.5 percent of land surface; forestland comprised roughly 7 percent; with remaining areas of wetlands and open water. Riparian areas along stream corridors containing 'Forest Soils' and 'Bottomland Soils' are thought to most likely be the areas that were forested during the early 1800s.

public infrastructure

'Public infrastructure' when used in the context of rural areas of the County generally refers to drainage systems, bridges or roads.

public services

'Public services' typically refers to public services in rural areas of the County, such as police protection services provided the County Sheriff office, fire protection principally provided by fire protection districts, and emergency ambulance service.

rural

Rural lands are unincorporated lands that are not expected to be served by any public sanitary sewer system.

site of historic or archeological significance

A site designated by the Illinois Historic Preservation Agency (IHPA) and identified through mapping of high probability areas for the occurrence of archeological resources in accordance with the Illinois State Agency Historic Resources Preservation Act (20 ILCS 3420/3). The County requires Agency Report from the IHPA be submitted for the County's consideration during discretionary review of rezoning and certain special use requests. The Agency Report addresses whether such a site is present and/or nearby and subject to impacts by a proposed development and whether further consultation is necessary.

suited overall

During the discretionary review process, the County Board or County Zoning Board of Appeals may find that a site on which development is proposed is 'suited overall' if the site meets these criteria:

- the site features or site location will not detract from the proposed use;
- the site will not create a risk to the health, safety or property of the occupants, the neighbors or the general public;
- the site is not clearly inadequate in one respect even if it is acceptable in other respects;
- necessary infrastructure is in place or provided by the proposed development; and
- available public services are adequate to support the proposed development effectively and safely.

well-suited overall

During the discretionary review process, the County Board or County Zoning Board of Appeals may find that a site on which development is proposed is 'well-suited overall' if the site meets these criteria:

- the site is one on which the proposed development can be safely and soundly accommodated using simple engineering and common, easily maintained construction methods with no unacceptable negative affects on neighbors or the general public; and
- the site is reasonably well-suited in all respects and has no major defects.

urban development

The construction, extension or establishment of a land use that requires or is best served by a connection to a public sanitary sewer system.

urban land

Land within the County that meets any of the following criteria:

- within municipal corporate limits; or
- unincorporated land that is designated for future urban land use on an adopted municipal comprehensive plan, adopted intergovernmental plan or special area plan and served by or located within the service area of a public sanitary sewer system.

urban land use

Generally, land use that is connected and served by a public sanitary sewer system.

869-AM-17/870-S-17 Images



Dale Lane entrance facing north



Michelle Lane

869-AM-17/870-S-17 Images



Part of proposed expansion area



Dale Lane, from north end facing south

869-AM-17/870-S-17 Images



Fred Lane



Proposed home site 49A, northwest corner behind Casey's

PRELIMINARY DRAFT

869-AM-17

**FINDING OF FACT
AND FINAL DETERMINATION
of
Champaign County Zoning Board of Appeals**

Final Determination: *{RECOMMEND ENACTMENT / RECOMMEND DENIAL}*

Date: *{June 29, 2017}*

Petitioners: **Stonetown Woodland Acres LLC, via agent Michael Friend**

Request: **Amend the Zoning Map to change the zoning district designation in order to operate the proposed Special Use with waivers in related Zoning Case 870-S-17 for the following portions of the subject property:**

Part A: Change the zoning district designation from the R-1 Single Family Residence Zoning District to the R-5 Manufactured Home Park Zoning District for the eastern 150 feet of the subject property.

Part B: Change the zoning district designation from the B-2 Neighborhood Business Zoning District to the R-5 Manufactured Home Park Zoning District for the 1.66 acre lot on the west end of the subject property.

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FINDING OF FACT

From the documents of record and the testimony and exhibits received at the public hearing conducted on **June 29, 2017**, the Zoning Board of Appeals of Champaign County finds that:

(Note: asterisk indicates items of evidence that are identical to evidence in Cases 870-S-17 and 871-V-17)

- *1. Stonetown Woodland Acres LLC, 720 S Colorado Blvd #1150N, Glendale, CO 80246, is the owner of Woodland Acres Manufactured Home Park. Dax Nolan, Vice President of the LLC, 720 S Colorado Blvd #1150N, Glendale, CO 80246, represents the LLC for this zoning case. The managers of Stonetown Woodland Acres LLC are Roy Lapidus, 1 Alexander Lane, Greenwood Village, CO 80121, and Adam Minnick, 452 Leyden St, Denver, CO 80220. Michael Friend, Engineering Manager for Farnsworth Group in Champaign, is the local agent for this zoning case.
- *2. The subject property is comprised of three tracts of land totaling 13.37 acres, generally south and east of the Urbana spur of I-74 (University Avenue/IL Route 130), north of US Route 150 (University Avenue) and west of Smith Road, in the Southeast Quarter of the Southeast Quarter of Section 9 and the West Half of the Southwest Quarter of Section 10 of Township 19 North, Range 9 East of the Third Principal Meridian in Urbana Township and commonly known as Woodland Acres Manufactured Home Park, with an address of 2200 East University, Urbana.
- *3. Regarding municipal extraterritorial jurisdiction and township planning jurisdiction:
 - *A. The subject property is located within the one and one-half mile extraterritorial jurisdiction of the City of Urbana, a municipality with zoning. Municipalities with zoning have protest rights in Map Amendment cases. Notice of the public hearing was sent to the City of Urbana.
 - *B. The subject property is located within Urbana Township, which does not have a Planning Commission.
4. Regarding comments by petitioners, when asked on the petition what error in the present Ordinance is to be corrected by the proposed change, the petitioner has indicated: **“The east 150’ of the property is currently zoned R-1, which does not allow manufactured home parks. The balance of the site is zoned R-5, which is intended to accommodate manufactured home parks. This request entails a petition to amend the zoning map from R-1 to R-5 along the east 150’ of the subject property.”**
5. Regarding comments by the petitioner when asked on the petition what other circumstances justify the rezoning the petitioner has indicated the following: **“The overall parent site has been previously developed as a manufactured home park. It is highly unlikely that single family dwellings allowed under R-1 zoning would ever be developed in the 150’ wide R-1 strip of property adjacent to an existing manufactured home park.”**

GENERALLY REGARDING LAND USE AND ZONING IN THE IMMEDIATE VICINITY

- *6. Land use and zoning on the subject property and in the vicinity are as follows:
 - *A. The subject property is a 13.37 acre tract with a land use of Manufactured Home Park, and is currently in 3 different zoning districts:
 - *(1) The eastern 150 feet is zoned R-1 Single Family Residence.

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- * (2) The west 1.66 acre lot is zoned B-2 Neighborhood Business.
- * (3) The remainder is in the appropriate R-5 Manufactured Home Park Zoning District.
- *B. Land to the north and northeast of the subject property is zoned R-5 Manufactured Home Park and is residential in use; to the northwest is R-4 Multiple Family Residence, and is vacant land owned by Flex-N-Gate.
- *C. Land to the east is zoned R-1 Single Family Residence and is residential in use.
- *D. Land to the south is zoned B-2 Neighborhood Business, R-5 Manufactured Home Park, and R-1 Single Family Residence, and is commercial and residential in use.
 - * (1) The petitioners also own the 1.29 acre lot zoned B-2 Neighborhood Business south of the subject properties, which houses the Manufactured Home Park's office and shares a building with a thrift shop.
- *E. Land to the west is zoned B-2 Neighborhood Business, and is commercial in use.
- *7. Regarding the site plan and proposed operations of the subject property:
 - *A. The ALTA Survey created by Berns, Clancy and Associates, received January 27, 2017, indicates the following existing improvements and the Stonetown Woodland Acres Mobile Home Park Expansion County Review Drawings received January 27, 2017, indicates the following proposed improvements:
 - * (1) Existing buildings and structures on the ALTA Survey include:
 - *a. 93 manufactured home sites;
 - *b. A non-conforming single family residence in the southwest corner of the subject property;
 - *c. An empty site in the northwest corner of the subject property that was previously a single family residence (demolished in 2016);
 - *d. A non-conforming single family residence south of home sites east of Dale Lane and northeast of the existing Woodland Acres office;
 - *e. A non-conforming single family residence in the proposed expansion area, to be demolished;
 - *f. A detached shed in the proposed expansion area, to be demolished;
 - *g. A wood barn in the proposed expansion area, to be demolished;
 - *h. A playground area in the proposed expansion area, to be removed; and
 - *i. The subject properties are connected to public water and sewer.
 - *j. The petitioners also own the 1.29 acre lot zoned B-2 Neighborhood Business south of the subject properties, which houses the Manufactured Home Park's office and shares a building with a thrift shop.

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- *a) A “Variety Store” is authorized in the B-2 Zoning District, but not at all in the R-5 Zoning District. The petitioners indicated in a meeting with Susan Burgstrom on February 1, 2017, that ultimately they would like to rezone the thrift shop property with the knowledge that it cannot be extended, altered, or replaced if destroyed. The petitioners do not yet have a plan for future use on that lot, but indicated that any use they propose would be allowed in the proposed R-5 Zoning District. The petitioners stated that they would address the rezoning and redevelopment of the B-2 zoned property at a later date.
- *2) Proposed improvements according to the Stonetown Woodland Acres Mobile Home Park Expansion County Review Drawings received January 27, 2017 include:
- *a. Combining two existing home sites into one larger site in several locations; the petitioners have not yet identified which existing sites would be combined, but they have stated verbally that this would create a net zero change in the number of existing home sites. Existing home sites 27, 47, 50, and 64 were constructed without authorization and will be maintained, which would balance out the reduction in home sites due to combining sites.
 - *b. 21 new home sites in the northeast corner of the property, with related road and utility infrastructure;
 - *c. A new entrance to the park off North Smith Road at the intersection of Slayback Street;
 - *d. A dry detention basin in the northeast corner of the property; and
 - *e. A playground area with four parking spaces near the location of the wood barn that will be demolished.
 - *f. The County Review Drawings set received January 27, 2017, includes the following sheets:
 - (a) C1.0 Cover Sheet
 - (b) C2.0 General Notes and Legends
 - (c) C3.0 Existing Topography and Demolition Plan
 - (d) C4.0 Grading Plan
 - (e) C5.0 Utility Plan/Sanitary and Storm
 - (f) C6.0 Utility Plan/Water, Gas and Electric
 - (g) C6.1 Plan and Profile – Sanitary
 - (h) C7.0 Plan and Profile – Sanitary
 - (i) C7.1 Plan and Profile – Sanitary
 - (j) C7.2 Plan and Profile – Sanitary
 - (k) C7.3 Plan and Profile – Sanitary and Sanitary Details
 - (l) C8.0 Standard Sanitary Sewer Details
 - (m) C8.1 Standard Storm Sewer Details
 - (n) C8.2 Standard Water Main Details
 - (o) C8.3 Pavement and Erosion Control Details
 - (q) C8.4 Landscape Details and Notes

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- *B. The Revised Stonetown Woodland Acres Mobile Home Park Expansion County Review Drawings received June 5, 2017, includes the following changes on the same sheets listed above plus Sheet C8.3 (a second sheet with additional Standard Water Main Details), which in turn rennumbers the Pavement sheet to C8.4 and the Landscape sheet to C8.5.
- (1) Proposed home sites that were numbered 1 through 21 on the January 27, 2017, County Review Drawings are now numbered 94 through 114.
 - (2) On Sheet C4.0, contour lines have been added as well as more detail on the proposed detention basin.
 - (3) Sheets C5.0 and C6.0 also have more details on the proposed basin.
 - (4) Remaining Sheets have additional details and annotations.
- *C. The Overall Layout Plan dated June 16, 2017, and received on the same day, is the official Site Plan for approval. It contains the following revisions and clarifications:
- * (1) Michael Friend, Engineer for Farnsworth Group, submitted the revised drawing in an email dated June 16, 2017. He indicated that the drawing is for illustration purposes only, as it is a PDF which merges several other drawings together, with some parts of it created by others.
 - * (2) All existing and proposed home sites have been numbered and included in one drawing rather than having separate drawings for existing and proposed home sites.
 - * (3) Existing home sites 30 through 36 (7 sites) have been reconfigured to created 5 larger home sites numbered 32, 33, 34, 35, and 36 (site numbers 30 and 31 are no longer used).
 - * (4) New sites 49A and 49B have been added to the northwest corner of the subject property.
 - *a. The petitioners note that there will be a net zero change in the number of existing home sites by reconfiguring sites 30 through 36 and adding sites 49A and 49B.
 - * (5) Existing sites 27, 47 and 64 have been renumbered to 50A, 50B, and 50C, respectively.
 - * (6) An existing open space in the southeastern part of the subject property has been designated as an additional recreation area of approximately 23,335 square feet and will be referred to as Recreation Area C in discussion.
- *D. The Revised Stonetown Woodland Acres Mobile Home Park Expansion Permit Drawings received June 16, 2017, will also be included in the official Site Plan for approval and include the following revisions:
- * (1) The Permit Drawings set includes the following sheets:
 - (a) C1.0 Cover Sheet
 - (b) C2.0 General Notes and Legends
 - (c) C3.0 Existing Topography and Demolition Plan
 - (d) C4.0 Grading Plan

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- (e) C5.0 Utility Plan/Sanitary and Storm
- (f) C6.0 Utility Plan/Water, Gas and Electric
- (g) C6.1 Plan and Profile – Sanitary
- (h) C7.0 Plan and Profile – Sanitary
- (i) C7.1 Plan and Profile – Sanitary
- (j) C7.2 Plan and Profile – Sanitary
- (k) C7.3 Plan and Profile – Sanitary and Sanitary Details
- (l) C8.0 Standard Sanitary Sewer Details
- (m) C8.1 Standard Storm Sewer Details
- (n) C8.2 Standard Water Main Details
- (o) C8.3 Standard Water Main Details
- (p) C8.4 Pavement and Erosion Control Details
- (q) C8.5 Landscape Details and Notes

- * (1) Sheet C7.3 Sanitary Sewer Plan Profile has replaced the “Typical Riser Detail for Deep Service Lateral” and the “Shallow Service Lateral Detail” shown in the June 5, 2017 revision, with a “Typical Sanitary Sewer Riser Detail” in the June 16, 2017 revision.
- * (2) Sheet C8.0 Standard Sanitary Sewer Details has replaced Typical Sanitary Sewer Details shown in the June 5, 2017 revision with a blank area.

E. The following are previous Zoning Use Permits on the subject property:

- * (1) The following information was provided by the Illinois Department of Public Health:
 - * a. 43 home sites were constructed under an Illinois Department of Public Health permit issued May 10, 1960.
 - * b. Another 32 home sites were permitted on January 5, 1970, for a total of 75 home sites.
 - * c. No information was available from Public Health to confirm when the remaining 18 home sites were constructed that would comprise the 93 existing home sites.
 - * (a) Aerial photography from 1973 shows 91 home sites.
 - * (b) Aerial photography from 2014 and before does not show the other 2 home sites, which are located east of the Casey’s General Store.
- * (2) ZUP #087-74-01 was approved on March 28, 1974, to open a Bakery Thrift Store in the Wilson Trailer Park; staff believes this was located on part of what are now 2 lots housing the Casey’s General Store and the western lot of the subject property.
- * (3) ZUP #323-74-01 was approved on November 19, 1974, for a change of use to re-open a restaurant and install a 24 square feet sign, on what is now the MHP office lot.
- * (4) Change of Use Permit #94-85-02 was approved on April 8, 1985, for a change of use for a craft shop, on what is now the MHP office lot.
- * (5) Change of Use Permit #157-86-03 was approved on June 11, 1986, for a change of use for an insurance office, on what is now the MHP office lot.

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- * (6) ZUP #205-87-01 was approved on July 24, 1987, for construction of a retail storage building for the Champaign County Power Equipment Co., on what are now 2 lots housing the Casey's General Store and the western lot of the subject property.
- * (7) Change of Use Permit #292-89-02 was approved on October 19, 1989, for a change of use for a siding and window company in the east half of an existing building, on what is now the MHP office lot.
- * (8) Change of Use Permit #157-90-01 was approved on June 8, 1990, for a change of use for a portion of the building with the existing siding and Window Company to house a toning center, on what is now the MHP office lot.
- * (9) ZUP #58-92-02 was approved on February 28, 1992, for an addition to an existing warehouse for the Champaign County Power Equipment Co., on what are now 2 lots housing the Casey's General Store and the western lot of the subject property.
- * (10) Change of Use Permit #346-94-01 was approved on December 12, 1994, for a change of use for an antique sales and gift shop, on what is now the MHP office lot.
- * (11) ZUP #06-97-01 was approved on January 6, 1997, for an addition to an existing building for the Champaign County Power Equipment Co., on what are now 2 lots housing the Casey's General Store and the western lot of the subject property.
- * (12) Change of Use Permit #311-97-02 was approved on November 12, 1997, for a change of use for a beauty shop, on what is now the MHP office lot.
- * (13) ZUP #316-97-05 was approved on November 13, 1997, for 6 wall signs for the Champaign County Power Equipment Co., on what are now 2 lots housing the Casey's General Store and the western lot of the subject property.
- * (14) ZUP #152-98-02 was approved on June 3, 1998, for the construction of a freestanding sign by Premier Hospitality Management Group, on what is now the MHP office lot.
- * (15) Change of Use Permit #363-06-01 was approved on February 9, 2007, for a change of use to establish a church, on what is now the MHP office lot.
- * (16) Change of Use Permit #277-08-01 was approved on November 13, 2008, for a change of use to establish a resale (variety store) shop and to install a wall sign, on what is now the MHP office lot.

GENERALLY REGARDING THE EXISTING AND PROPOSED ZONING DISTRICTS

- 8. Regarding the existing and proposed zoning districts:
 - A. Regarding the general intent of zoning districts (capitalized words are defined in the Ordinance) as described in Section 5 of the Ordinance:
 - (1) The R- 1, Single Family Residence DISTRICT is intended to provide areas for single FAMILY detached DWELLINGS, set on LOTS and is intended for

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application in mainly non-urban and developing areas where community facilities can be made readily available.

- (2) The B-2, Neighborhood Business DISTRICT is intended to provide areas for the convenience of adjacent residential areas, and to permit only such USES as are necessary to satisfy limited basic shopping needs which occur daily or frequently.
- * (3) The R-5, MANUFACTURED HOME Park DISTRICT is intended to accommodate MANUFACTURED HOME PARKS and their associated USES in a medium density housing environment.

B. Regarding the different uses that are authorized in the existing and proposed zoning districts by Section 5.2 of the Ordinance:

- (1) Regarding Part A of the proposed map amendment, there are 9 types of uses authorized by right in the R-1 District and there are 13 types of uses authorized by right in the R-5 District:
 - a. There are 7 uses authorized by right in the R-1 District that are also authorized by right in the R-5 District:
 - (a) Subdivisions totaling three lots or less;
 - (b) Subdivisions totaling more than three LOTS or with new STREETS or PRIVATE ACCESSWAYS;
 - (c) Agriculture, including customary accessory uses;
 - (d) Elementary SCHOOL, Jr. High SCHOOL, or High SCHOOL;
 - (e) Church, Temple, or church related TEMPORARY USES on church PROPERTY;
 - (f) Country club or golf course; and
 - (g) Country Club Clubhouse.
 - b. The following 3 uses are authorized by right in the R-5 District and not at all in the R-1 District:
 - (a) MANUFACTURED HOME in MANUFACTURED HOME PARK;
 - (b) Institution of an Educational, Philanthropic or Eleemosynary Nature; and
 - (c) Lodge or private club.
 - c. The following 3 uses are authorized by right in the R-5 District but require a Special Use Permit in the R-1 District:
 - (a) Municipal or GOVERNMENT building;
 - (b) Police station or fire station; and
 - (c) Library, museum, or gallery.
- (2) Regarding Part A of the proposed map amendment, there are 12 types of uses authorized by Special Use Permit (SUP) in the R-1 District, and 9 types of uses authorized by SUP in the R-5 District:
 - a. The following 7 uses may be authorized by SUP in both the R-1 District and the R-5 District:
 - (a) Residential Planned Unit Development;
 - (b) Artificial lake of 1 or more acres;

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- (c) Township Highway Maintenance Garage;
 - (d) Adaptive reuse of government buildings for any use permitted by right in B-1, B-2, B-3, B-4, B-5 and I-1;
 - (e) Electrical substation;
 - (f) Telephone exchange; and
 - (g) Private Kindergarten or Day Care Facility.
- b. The following 2 uses may be authorized by Special Use Permit in the R-1 District and not at all in the R-5 District:
- (a) TWO FAMILY DWELLING; and
 - (b) Riding Stable.
- c. The following 2 uses may be authorized by SUP in the R-5 District and not at all in the R-1 District:
- (a) MANUFACTURED HOME PARK; and
 - (b) HOSPITAL.
- (3) Regarding Part B of the proposed map amendment, there are 65 types of uses authorized by right in the B-2 District and there are 13 types of uses authorized by right in the R-5 District:
- a. The following 8 uses authorized by right in the B-2 District are also authorized by right in the R-5 District:
- (a) Subdivisions totaling three lots or less;
 - (b) Subdivisions totaling more than three LOTS or with new STREETS or PRIVATE ACCESSWAYS;
 - (c) Agriculture, including customary accessory uses;
 - (d) Institution of an Educational, Philanthropic or Eleemosynary Nature;
 - (e) Church, Temple, or church related TEMPORARY USES on church PROPERTY;
 - (f) Municipal or GOVERNMENT building;
 - (g) Police station or fire station; and
 - (h) Library, museum, or gallery.
- b. The following 5 uses are authorized by right in the R-5 District and not at all in the B-2 District:
- (a) MANUFACTURED HOME in MANUFACTURED HOME PARK;
 - (b) Elementary SCHOOL, Jr. High SCHOOL, or High SCHOOL;
 - (c) Country club or golf course;
 - (d) Country Club Clubhouse; and
 - (e) Lodge or private club.
- c. There are no uses that are authorized by right in the R-5 District but require a Special Use Permit in the B-2 District.
- (4) Regarding Part B of the proposed map amendment, there are 10 types of uses authorized by Special Use Permit (SUP) in the B-2 District, and 9 types of uses authorized by SUP in the R-5 District:

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- a. The following 3 uses may be authorized by SUP in both the B-2 District and the R-5 District:
 - (a) Township Highway Maintenance Garage (with conditions);
 - (b) Adaptive reuse of government buildings for any use permitted by right in B-1, B-2, B-3, B-4, B-5 and I-1; and
 - (c) Electrical substation.

- b. The following 7 uses may be authorized by Special Use Permit in the B-2 District and not at all in the R-5 District:
 - (a) HOTEL – no more than 15 LODGING UNITS;
 - (b) MOTOR BUS Station;
 - (c) Artist Studio;
 - (d) Restaurant (indoor service only);
 - (e) Minor AUTOMOBILE Repair (all indoors);
 - (f) Gasoline Service Station; and
 - (g) Automotive Accessories (new).

- c. The following 2 uses may be authorized by SUP in the R-5 District and not at all in the B-2 District:
 - (a) MANUFACTURED HOME PARK;
 - (b) Residential PLANNED UNIT DEVELOPMENT;
 - (c) Artificial lake of 1 or more acres; and
 - (d) HOSPITAL.

- (5) Any proposed Special Use Permit can be evaluated on a case by case basis for compatibility with adjacent R-1 and/or B-2 uses.

GENERALLY REGARDING THE LRMP GOALS, OBJECTIVES, AND POLICIES

9. The *Champaign County Land Resource Management Plan* (LRMP) was adopted by the County Board on April 22, 2010. The LRMP Goals, Objectives, and Policies were drafted through an inclusive and public process that produced a set of ten goals, 42 objectives, and 100 policies, which are currently the only guidance for amendments to the *Champaign County Zoning Ordinance*, as follows:
 - A. The Purpose Statement of the LRMP Goals, Objectives, and Policies is as follows:

“It is the purpose of this plan to encourage municipalities and the County to protect the land, air, water, natural resources and environment of the County and to encourage the use of such resources in a manner which is socially and economically desirable. The Goals, Objectives and Policies necessary to achieve this purpose are as follows...”

 - B. The LRMP defines Goals, Objectives, and Policies as follows:
 - (1) Goal: an ideal future condition to which the community aspires
 - (2) Objective: a tangible, measurable outcome leading to the achievement of a goal
 - (3) Policy: a statement of actions or requirements judged to be necessary to achieve goals and objectives

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- C. The Background given with the LRMP Goals, Objectives, and Policies further states, “Three documents, the *County Land Use Goals and Policies* adopted in 1977, and two sets of *Land Use Regulatory Policies*, dated 2001 and 2005, were built upon, updated, and consolidated into the LRMP Goals, Objectives and Policies.”

REGARDING RELEVANT LRMP GOALS & POLICIES

(Note: bold italics typeface indicates staff’s recommendation to the ZBA)

10. LRMP Goal 1 is entitled “Planning and Public Involvement” and states:
Champaign County will attain a system of land resource management planning built on broad public involvement that supports effective decision making by the County.

Goal 1 is always relevant to the review of the LRMP Goals, Objectives, and Policies in land use decisions but the proposed rezoning will **NOT IMPEDE** the achievement of Goal 1.

11. LRMP Goal 2 is entitled “Governmental Coordination” and states:

Champaign County will collaboratively formulate land resource and development policy with other units of government in areas of overlapping land use planning jurisdiction.

Goal 2 has two objectives and three policies. The proposed amendment will **NOT IMPEDE** the achievement of Goal 2.

12. LRMP Goal 3 is entitled “Prosperity” and states:
Champaign County will encourage economic growth and development to ensure prosperity for its residents and the region.

Goal 3 has three objectives and no policies. The proposed amendment will **HELP ACHIEVE** Goal 3 for the following reasons:

- A. The three objectives are:
- (1) Objective 3.1 is entitled “Business Climate” and states: Champaign County will seek to ensure that it maintains comparable tax rates and fees, and a favorable business climate relative to similar counties.
 - (2) Objective 3.2 is entitled “Efficient County Administration” and states: “Champaign County will ensure that its regulations are administered efficiently and do not impose undue costs or delays on persons seeking permits or other approvals.”
 - (3) Objective 3.3 is entitled “County Economic Development Policy” and states: “Champaign County will maintain an updated Champaign County Economic Development Policy that is coordinated with and supportive of the LRMP.”
- B. Although the proposed rezoning is **NOT DIRECTLY RELEVANT** to any of these objectives, the proposed rezoning will allow the Petitioners to grow their trucking business on the subject property with proper zoning and to continue to serve residents of Champaign County and therefore the proposed rezoning can be said to **HELP ACHIEVE** Goal 3.

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13. LRMP Goal 4 is entitled “Agriculture” and states:

Champaign County will protect the long term viability of agriculture in Champaign County and its land resource base.

Goal 4 has 9 objectives and 22 policies. The proposed amendment will *NOT IMPEDE* the achievement of Goal 4.

14. LRMP Goal 5 is entitled “Urban Land Use” and states as follows:

Champaign County will encourage urban development that is compact and contiguous to existing cities, villages, and existing unincorporated settlements.

Goal 5 has 3 objectives and 15 policies. The proposed amendment will *HELP ACHIEVE* Goal 5 for the following reasons:

- A. Objective 5.1 states, “**Champaign County will strive to ensure that the preponderance of population growth and economic development is accommodated by new *urban development* in or adjacent to existing population centers.**”

The proposed rezoning will *HELP ACHIEVE* Objective 5.1 because of the following:

- (1) Policy 5.1.3 states, “**The County will consider municipal extra-territorial jurisdiction areas that are currently served by or that are planned to be served by an available public sanitary sewer service plan as contiguous urban growth areas which should develop in conformance with the relevant municipal comprehensive plans. Such areas are identified on the Future Land Use Map.**”

The proposed rezoning will *HELP ACHIEVE* Policy 5.1.3 for the following reasons:

- a. The *Land Resource Management Plan* defines “urban land use” as generally any land use that is connected and served by a public sanitary system and “urban development” is defined as the construction, extension, or establishment of a land use that requires or is best served by a connection to a public sanitary system.
 - b. The subject property is connected to public sanitary sewer and a public water supply.
 - c. The subject property is completely surrounded by urban development.
 - d. On the LRMP map “Future Land Use – 2030”, the subject property is within the City of Urbana 1.5 mile extra-territorial jurisdiction.
 - e. The City of Urbana Comprehensive Plan Future Land Use Map #6, adopted April 11, 2005, shows the subject property in a multi-family future land use with a community business use south of the manufactured home park.
- B. Objective 5.3 states, “**Champaign County will oppose proposed new urban development unless adequate utilities, infrastructure, and public services are provided.**”

The proposed rezoning will *HELP ACHIEVE* Objective 5.3 because of the following:

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- (1) Policy 5.3.1 states, “**The County will:**
- a. **require that proposed new urban development in unincorporated areas is sufficiently served by available public services and without undue public expense; and**
 - b. **encourage, when possible, other jurisdictions to require that proposed new urban development is sufficiently served by available public services and without undue public expense.”**

The proposed rezoning will *HELP ACHIEVE* Policy 5.3.1 because the site already receives public services for an existing use.

- (2) Policy 5.3.2 states, “**The County will:**
- a. **require that proposed new urban development, with proposed improvements, will be adequately served by public infrastructure, and that related needed improvements to public infrastructure are made without undue public expense; and**
 - b. **encourage, when possible, other jurisdictions to require that proposed new urban development, with proposed improvements, will be adequately served by public infrastructure, and that related needed improvements to public infrastructure are made without undue public expense.”**

The proposed rezoning will *HELP ACHIEVE* Policy 5.3.2 because the petitioners plan to invest in road and utilities infrastructure when expanding the manufactured home park.

- C. The proposed amendment will *NOT IMPEDE* the achievement of Objective 5.2 and Policies 5.1.1, 5.1.2, 5.1.4, 5.1.5, 5.1.6, 5.1.7, 5.1.8, 5.1.9, 5.2.1, 5.2.2, 5.2.3, and 5.3.3.

15. LRMP Goal 6 is entitled “Public Health and Safety” and states as follows:

Champaign County will ensure protection of the public health and public safety in land resource management decisions.

Goal 6 has 4 objectives and 7 policies. The proposed amendment will *NOT IMPEDE* the achievement of Goal 6.

16. LRMP Goal 7 is entitled “Transportation” and states as follows:

Champaign County will coordinate land use decisions in the unincorporated area with the existing and planned transportation infrastructure and services.

Goal 7 has 2 objectives and 7 policies. The proposed amendment {**WILL / WILL NOT**} *HELP ACHIEVE* Goal 7 for the following reasons:

- A. Objective 7.1 states, “Champaign County will consider traffic impact in all land use decisions and coordinate efforts with other agencies when warranted.”

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The proposed rezoning **{WILL / WILL NOT} HELP ACHIEVE** Objective 7.1 because of the following:

- (1) Policy 7.1.1 states, **“The County will include traffic impact analyses in discretionary review development proposals with significant traffic generation.”**

The proposed rezoning **{WILL / WILL NOT} HELP ACHIEVE** Policy 7.1.1 because:

- *a. The subject property is off East University Avenue/IL 130/US 150, approximately 1 mile west of High Cross Road/IL 130 and 1.3 miles east of US 45 North (Cunningham Avenue) in Urbana.
- (a) East University Avenue in the vicinity of the subject property is a 3-lane concrete urban cross section with curb and gutter. The pavement width is about 40 feet.
- (b) North Smith Road to the north of University Avenue is a 2 lane collector with no shoulders, curb or gutter, which ranges from 22 to 28 feet wide.
- *b. The traffic generated by the proposed use will increase with the addition of 21 home sites.
- (a) Generally the Zoning Department assumes 10 vehicle trips per day for a residence. The proposed 21 new home sites would thus increase traffic by about 210 trips per day.
- *c. The petitioners propose opening a second access on North Smith Road, which would increase traffic at the intersection of East University Avenue and North Smith Road.
- * (a) The Urbana Township Road Commissioner has been notified of this case. He called the P&Z Department on June 21, 2017, to express opposition to the new road access to North Smith Road at Slayback Street. He asked if parking would be allowed on the 20 feet wide proposed private access drive; Susan Burgstrom told him that the Zoning Ordinance does not allow on-street parking for a 20 feet wide street.
- * (b) Mr. Tim Johnson called the P&Z Department on June 21, 2017 on behalf of some residents in the Edgewood Subdivision (east of the subject property). They are opposed to the proposed road connecting to North Smith Road at Slayback Street.
- d. As reviewed in related Case 870-S-17 regarding the general traffic conditions at this location and the level of existing traffic and the likely increase from the proposed Special Use:
- * (a) The Illinois Department of Transportation measures traffic on various roads throughout the County and determines the annual average 24-hour traffic volume for those roads and reports it as Average Daily Traffic (ADT). The most recent ADT data is from 2015-2016 in the vicinity of the subject property.

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- *i. East University Avenue had an ADT of 13,100 east of North Smith Road in 2015.
 - *ii. North Smith Road to the north of University Avenue had an ADT of 800 in 2016. North Smith Road to the south of University Avenue had an ADT of 5,900 in 2016.
- * (b) The Illinois Department of Transportation’s *Manual of Administrative Policies of the Bureau of Local Roads and Streets* provides ideal design criteria for new construction/reconstruction.
- *i. Regarding East University Avenue:
 - * (a) The 40 feet width for an existing urban two-way, two lane arterial would equate to a maximum recommended two-way design hourly volume (DHV) of no more than 1,250, roughly equivalent to an ADT of 10,400. However, this section of University Avenue has a dual left middle turn lane, which increases traffic flow so that it functions more like a 4-lane cross section. A 4-lane cross section would be designed for an ADT of 10,400 to 17,000.
 - * (b) Staff believes that East University Avenue operates within its design capacity, and that the proposed increase would still function at an acceptable level, although no formal Traffic Impact Analysis has been done.
 - *ii. Regarding North Smith Road:
 - * (a) Rural two-lane collectors with an ADT of 800 should have a minimum 4 feet wide shoulder. North Smith Road does not have shoulders but does have wide grass areas on both sides.
 - * (b) A 22 feet wide pavement width with a minimum 4 feet wide shoulder would be designed for an ADT of 400 to 2000.
 - * (c) Staff believes that North Smith Road operates within its design capacity, and that the proposed increase would still function at an acceptable level, although no formal Traffic Impact Analysis has been done.
- B. The proposed amendment will ***NOT IMPEDE*** the achievement of Objective 7.2 and Policies 7.2.1, 7.2.2, 7.2.3, 7.2.4, 7.2.5, and 7.2.6.

17. LRMP Goal 8 is entitled “Natural Resources” and states as follows:

Champaign County will strive to conserve and enhance the County’s landscape and natural resources and ensure their sustainable use.

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Goal 8 has 9 objectives and 36 policies. Objectives 8.1, 8.2, 8.3, 8.5, 8.6, 8.7, 8.8, and 8.9 and the subsidiary policies are not relevant to the proposed amendment.

The proposed amendment will *HELP ACHIEVE* Goal 8 for the following reasons:

A. Objective 8.4 states, “**Champaign County will work to ensure that new development and ongoing land management practices maintain and improve surface water quality, contribute to stream channel stability, and minimize erosion and sedimentation.**”

Policies 8.4.1, 8.4.3 and 8.4.4 are not relevant to the proposed amendment. The proposed rezoning will *HELP ACHIEVE* Objective 8.4 because of the following:

(1) Policy 8.4.2 states, “**The County will require storm water management designs and practices that provide effective site drainage, protect downstream drainage patterns, minimize impacts on adjacent properties and provide for stream flows that support healthy aquatic ecosystems.**”

The proposed rezoning will *HELP ACHIEVE* Policy 8.4.2 for the following reasons:

- *a. A Storm Water Drainage Plan with detention is required because there is more than one acre of impervious area added in the new development.
- *b. The Storm Water Drainage Plan completed by Farnsworth Group and received January 27, 2017, includes one Large and one Small detention basin in the northeast corner of the subject property.
 - *a) Farnsworth Group concluded that “the results of the analysis demonstrate that adequate detention storage volume is provided for the proposed expansion of the Woodland Acres Mobile Home Site. The results of the storm routing indicates that the allowable peak discharges required by both IDOT and Champaign County will not be exceeded once the site has been constructed as proposed.”
 - *b) The Department of Planning and Zoning contracted with independent engineering consultant Berns, Clancy and Associates to review the drainage plan. They concluded that “the volume of storm water detention required for the expansion of Woodland Acres Mobile Home Park was correctly determined using a critical duration analysis. An area of the proposed development will be rerouted from draining to an existing storm sewer, to draining through a detention basin before the water outlets to a roadside ditch, which may ease the pressure on the existing system. The outlet pipes for each basin appear to have been sized correctly, as long as the clogging issue is properly dealt with for the 5-inch diameter outlet of the Small Basin. The overall proposed plan does appear to benefit the community. At this time, the plan needs a few changes or further explanations to meet the Champaign County Storm Water Management Regulations.”
- *c. The Storm Water Pollution Prevention Plan (SWPPP) received January 27, 2017, indicates the following:
 - *a) The subject property is not in the mapped floodplain, per FEMA FIRM panel 17019C0431D.

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- * (b) “The critical area of the site is the existing drainage ditch within the IDOT right-of-way to the north of the project site. This ditch must remain clean and active at all times.”
- * (c) The project will require a Land Disturbance and Erosion Control Permit from the P&Z Department; a storm water discharge permit from the Illinois Department of Transportation; and a NPDES permit from the Illinois Environmental Protection Agency.
 - i. Farnsworth Group has completed a LDEC permit for the P&Z Department, the IDOT permit, and a Notice of Intent for the IEPA NPDES permit.
- * d. The Erosion and Sediment Control Plan (ESCP) received January 27, 2017, indicates what measures will be taken during construction to ensure that neighboring land will not be impacted by runoff and erosion.

B. The petitioner submitted an initial review of the subject property using IDNR’s EcoCAT online mapping tool received January 24, 2017, which showed no record of State-listed threatened or endangered species, Illinois Natural Area Inventory sites, dedicated Illinois Nature Preserves, or registered Land and Water Reserves in the vicinity of the project location.

18. LRMP Goal 9 is entitled “Energy Conservation” and states as follows:

Champaign County will encourage energy conservation, efficiency, and the use of renewable energy sources.

The proposed amendment will **NOT IMPEDE** the achievement of Goal 9.

19. LRMP Goal 10 is entitled “Cultural Amenities” and states as follows:

Champaign County will promote the development and preservation of cultural amenities that contribute to a high quality of life for its citizens.

The proposed amendment **WILL NOT IMPEDE** the achievement of Goal 10.

GENERALLY REGARDING THE LASALLE FACTORS

20. In the case of *LaSalle National Bank of Chicago v. County of Cook* the Illinois Supreme Court reviewed previous cases and identified six factors that should be considered in determining the validity of any proposed rezoning. Those six factors are referred to as the *LaSalle* factors. Two other factors were added in later years from the case of *Sinclair Pipe Line Co. v. Village of Richton Park*. The *Champaign County Zoning Ordinance* does not require that map amendment cases be explicitly reviewed using all of the *LaSalle* factors but it is a reasonable consideration in controversial map amendments and any time that conditional zoning is anticipated. The proposed map amendment compares to the *LaSalle* and *Sinclair* factors as follows:

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- A. **LaSalle factor: The existing uses and zoning of nearby property.** Table 1 below summarizes the land uses and zoning of the subject property and nearby properties.

Table 1. Land Use and Zoning Summary

Direction	Land Use	Zoning
Onsite	Manufactured Home Park	R-1 Single Family Residence, B-2 Neighborhood Business, and R-5 MHP
North	vacant land to the northwest and a MHP directly north	R-4 Multiple Family Residence and R-5 Manufactured Home Park
East	Residential	R-1 Single Family Residence
West	Commercial (Casey's)	B-2 Neighborhood Business
South	Residential and commercial	B-2 Neighborhood Business, R-5 Manufactured Home Park, and R-1 Single Family Residence

- B. **LaSalle factor: The extent to which property values are diminished by the particular zoning restrictions.** Regarding this factor:
- (1) It is impossible to establish values without a formal real estate appraisal, which has not been requested nor provided, and so any discussion of values is necessarily general.
 - (2) This area is primarily residential and commercial in use; the subject properties have been in use as a Manufactured Home Park since the 1960s.
 - (3) Regarding the value of nearby residential properties:
 - a. The traffic generated by the proposed additional home sites will increase.
- C. **LaSalle factor: The extent to which the destruction of property values of the plaintiff will promote the health, safety, morals, and general welfare of the public.** Regarding this factor:
- (1) There has been no evidence submitted regarding property values.
 - (2) This area is primarily residential and commercial in use; the subject properties have been in use as a Manufactured Home Park since the 1960s.
- D. **LaSalle factor: The relative gain to the public as compared to the hardship imposed on the individual property owner.** Regarding this factor:
- (1) The proposed rezoning will provide additional lower cost housing opportunities for the community.
 - * (2) Regarding public comments on the proposed rezoning and special use permit with waivers:
 - a. Fred Wahlfeldt, who resides at 208 Ira Street, called on June 19, 2017, to express opposition to the proposed plans.
 - b. Mr. Tim Johnson called the P&Z Department on June 21, 2017 on behalf of some residents in the Edgewood Subdivision (east of the subject property).

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They are opposed to the proposed road connecting to North Smith Road at Slayback Street.

- c. The Urbana Township Road Commissioner has been notified of this case. He called the P&Z Department on June 21, 2017, to express opposition to the new road access to North Smith Road at Slayback Street.
- E. **LaSalle factor: The suitability of the subject property for the zoned purposes.** The subject property is suitable for the zoned purposes. The subject property has been a manufactured home park since 1960 and cannot be converted back to agricultural production.
- F. **LaSalle factor: The length of time the property has been vacant as zoned considered in the context of land development in the vicinity of the subject property.** Regarding this factor:
 - (1) The subject property continues to be in use as a Manufactured Home Park.
 - (2) The subject property and its surroundings have maintained the same uses for years.
- G. **Sinclair factor: The need and demand for the use.** Regarding this factor:
 - (1) If the petitioners did not perceive a demand in the local market for this type of housing, they would not seek to expand the existing manufactured home park.
- H. **Sinclair factor: The extent to which the use conforms to the municipality's comprehensive planning.** The ZBA has recommended that the proposed rezoning **{WILL/ WILL NOT} HELP ACHIEVE** the Champaign County Land Resource Management Plan.
- I. Overall, the proposed map amendment **{IS / IS NOT} CONSISTENT** with the LaSalle and Sinclair factors.

REGARDING THE PURPOSE OF THE ZONING ORDINANCE

- 21. The proposed amendment **{WILL / WILL NOT} HELP ACHIEVE** the purpose of the Zoning Ordinance as established in Section 2 of the Ordinance for the following reasons:
 - A. Paragraph 2.0 (a) of the Ordinance states that one purpose of the zoning regulations and standards that have been adopted and established is to secure adequate light, pure air, and safety from fire and other dangers.

This purpose is directly related to the limits on building coverage and the minimum yard requirements in the Ordinance and the proposed site plan, if approved with the required waivers, appears to be in compliance with those requirements.
 - *B. Paragraph 2.0 (b) of the Ordinance states that one purpose of the zoning regulations and standards that have been adopted and established is to conserve the value of land, BUILDINGS, and STRUCTURES throughout the COUNTY.
 - * (1) Provided that the special conditions of approval sufficiently mitigate or minimize any incompatibilities between the proposed Special Use Permit and adjacent properties, there should be no significant effect on the value of nearby properties.

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* (2) In regards to the value of the subject property, it is not clear if the requested Special Use Permit would have any effect. Regarding the effect on the value of the subject property:

*a. The subject property has been a manufactured home park since 1960; if the rezoning is denied, the existing home sites can continue to be used but no new sites will be permitted.

C. Paragraph 2.0 (c) of the Ordinance states that one purpose of the zoning regulations and standards that have been adopted and established is to lessen and avoid congestion in the public streets.

The proposed rezoning {**WILL / WILL NOT**} lessen and avoid congestion in the public streets as follows:

(1) Probable traffic impacts are reviewed under Policy 7.1.1.

(2) Staff believes that area roads would still function at an acceptable level, although no formal Traffic Impact Analysis has been done.

*D. Paragraph 2.0 (d) of the Ordinance states that one purpose of the zoning regulations and standards that have been adopted and established is to lessen and avoid hazards to persons and damage to property resulting from the accumulation of runoff of storm or flood waters.

A Storm Water Drainage Plan, Storm Water Pollution Prevention Plan, Erosion and Sediment Control Plan, and related permits have been filed with the appropriate agencies. An independent consultant determined that the Storm Water Drainage Plan will meet the drainage needs of the area when the manufactured home park expansion is complete.

*E. Paragraph 2.0 (e) of the Ordinance states that one purpose of the zoning regulations and standards that have been adopted and established is to promote the public health, safety, comfort, morals, and general welfare.

(1) In regards to public safety, this purpose is similar to the purpose established in paragraph 2.0 (a) and is in harmony to the same degree.

(2) In regards to public comfort and general welfare, this purpose is similar to the purpose of conserving property values established in paragraph 2.0 (b) and is in harmony to the same degree.

F. Paragraph 2.0 (f) states that one purpose of the Ordinance is regulating and limiting the height and bulk of BUILDINGS and STRUCTURES hereafter to be erected; and paragraph 2.0 (g) states that one purpose is establishing, regulating, and limiting the BUILDING or SETBACK lines on or along any STREET, trafficway, drive or parkway; and paragraph 2.0 (h) states that one purpose is regulating and limiting the intensity of the USE of LOT AREAS, and regulating and determining the area of OPEN SPACES within and surrounding BUILDINGS and STRUCTURES.

These three purposes are directly related to the limits on building height and building coverage and the minimum setback and yard requirements in the Ordinance and the proposed site plan appears to be in compliance with those limits, contingent upon approval of the related waivers in Case 870-S-17.

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- *G. Paragraph 2.0 (i) of the Ordinance states that one purpose of the Ordinance is classifying, regulating, and restricting the location of trades and industries and the location of BUILDINGS, STRUCTURES, and land designed for specified industrial, residential, and other land USES; and paragraph 2.0 (j.) states that one purpose is dividing the entire COUNTY into DISTRICTS of such number, shape, area, and such different classes according to the USE of land, BUILDINGS, and STRUCTURES, intensity of the USE of LOT AREA, area of OPEN SPACES, and other classification as may be deemed best suited to carry out the purpose of the ordinance; and paragraph 2.0 (k) states that one purpose is fixing regulations and standards to which BUILDINGS, STRUCTURES, or USES therein shall conform; and paragraph 2.0 (l) states that one purpose is prohibiting USES, BUILDINGS, OR STRUCTURES incompatible with the character of such DISTRICT.

Harmony with these four purposes requires that the special conditions of approval sufficiently mitigate or minimize any incompatibilities between the proposed Special Use Permit and adjacent uses, and that the special conditions adequately mitigate any problematic conditions.

- *H. Paragraph 2.0 (m) of the Ordinance states that one purpose of the zoning regulations and standards that have been adopted and established is to prevent additions to and alteration or remodeling of existing buildings, structures, or uses in such a way as to avoid the restrictions and limitations lawfully imposed under this ordinance.

The Petitioners seek to bring the existing manufactured home park into compliance by applying for the rezoning and a Special Use Permit. They also seek waivers in order to bring the property into full compliance.

- *I. Paragraph 2.0 (n) of the Ordinance states that one purpose of the zoning regulations and standards that have been adopted and established is to protect the most productive agricultural lands from haphazard and unplanned intrusions of urban uses.

The proposed rezoning **WILL** protect the most productive agricultural lands from haphazard and unplanned intrusions of urban uses as follows:

- (1) The proposed Special Use in related Case 870-S-17 meets the definition of “urban land use” as defined in the Appendix to Volume 2 of the Champaign County Land Resource Management Plan.
- (2) The ZBA has recommended that the proposed rezoning will **NOT IMPEDE** Goal 4 Agriculture of the Champaign County Land Resource Management Plan.
- (3) The subject property has been a manufactured home park since the 1960s. No agricultural land will be taken out of production.

- *J. Paragraph 2.0 (o) of the Ordinance states that one purpose of the zoning regulations and standards that have been adopted and established is to protect natural features such as forested areas and watercourses.

The subject property does not contain any natural features.

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- *K. Paragraph 2.0 (p) of the Ordinance states that one purpose of the zoning regulations and standards that have been adopted and established is to encourage the compact development of urban areas to minimize the cost of development of public utilities and public transportation facilities.
- (1) The proposed Special Use in related Case 870-S-17 meets the definition of either “urban development” or “urban land use” as defined in the Appendix to Volume 2 of the Champaign County Land Resource Management Plan.
 - (2) The proposed development will not require investment in additional public utilities other than the developer connecting to existing utility and transportation infrastructure.
- *L. Paragraph 2.0 (q) of the Ordinance states that one purpose of the zoning regulations and standards that have been adopted and established is to encourage the preservation of agricultural belts surrounding urban areas, to retain the agricultural nature of the County, and the individual character of existing communities.
- (1) The property is residential, located in a residential area.
 - (2) The proposed use will not take any agricultural land out of production.
 - (3) The proposed use will maintain the character of the existing community.
- *M. Paragraph 2.0 (r) of the Ordinance states that one purpose of the zoning regulations and standards that have been adopted and established is to provide for the safe and efficient development of renewable energy sources in those parts of the COUNTY that are most suited to their development.

The proposed rezoning and proposed Special Use will not hinder the development of renewable energy sources.

REGARDING SPECIAL CONDITIONS OF APPROVAL

22. Proposed Special Conditions of Approval:

No special conditions are currently proposed.

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1. Letter from Michael Friend, Engineering Manager, Farnsworth Group, received January 27, 2017, with attachments:
 - A Application for Map Amendment
 - B Application for Special Use Permit
 - C Application for Variance
 - D Land Disturbance and Zoning Use Permit Application
 - E Stonetown Woodland Acres Mobile Home Park Expansion County Review Drawings for proposed new home sites dated January 6, 2017
 - F ALTA/NSPS Land Title Survey for existing home sites created by Berns, Clancy and Associates, dated August 26, 2016
 - G EcoCAT online report dated January 24, 2017
 - H Storm Water Pollution Prevention Plan (SWPPP)
 - I IDOT Permit for Drainage Outlet
 - J Erosion and Sediment Control Plan (ESCP)
 - K Storm Water Drainage Plan

2. Email from Michael Friend received November 4, 2016, with attachment:
 - A Typical home site diagram

3. Email from Rick Hafer, Illinois Dept. of Public Health, received November 10, 2016, with attachments:
 - A Construction permit dated May 10, 1960, for 43 home sites in Wilson Trailer Park
 - B Construction permit dated January 5, 1970, for 32 home sites in Wilson Trailer Park

4. Revised Storm Water Drainage Plan received from Farnsworth Group on February 24, 2017

5. Drainage Plan Evaluation from Berns, Clancy and Associates received April 4, 2017

6. Revised Expansion County Review Drawings for proposed new home sites received June 5, 2017

7. Email from Michael Friend received June 16, 2017, with attachments:
 - A Revised Expansion Permit Drawings for proposed new home sites received June 16, 2017, which includes the following pages:
 - C1.0 Cover Sheet
 - C2.0 General Notes and Legends
 - C3.0 Existing Topography and Demolition Plan
 - C4.0 Grading Plan
 - C5.0 Utility Plan/Sanitary and Storm
 - C6.0 Utility Plan/Water, Gas and Electric
 - C6.1 Plan and Profile – Sanitary
 - C7.0 Plan and Profile – Sanitary
 - C7.1 Plan and Profile – Sanitary
 - C7.2 Plan and Profile – Sanitary
 - C7.3 Plan and Profile – Sanitary and Sanitary Details
 - C8.0 Standard Sanitary Sewer Details
 - C8.1 Standard Storm Sewer Details

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- C8.2 Standard Water Main Details
 - C8.3 Standard Water Main Details
 - C8.4 Pavement and Erosion Control Details
 - C8.5 Landscape Details and Notes
- B Copy of Illinois Department of Public Health Permit Site Expansion Application packet received June 16, 2017
8. Email from Michael Friend received June 20, 2017, with attachment:
- A Preliminary response from Illinois Department of Public Health regarding Site Expansion Application
9. Email from Fred and Sharon Gerth received June 21, 2017
10. Preliminary Memorandum dated June 22, 2017, for Cases 869-AM-17 and 870-S-17, with attachments:
- A Full legal advertisement from June 14, 2017 *News Gazette*
- B Case Maps (Location, Land Use, Zoning)
- C Overall Layout Plan by Farnsworth Group, received June 16, 2017
- D Revised Expansion Permit Drawings for proposed new home sites received June 16, 2017
- E ALTA/NSPS Land Title Survey for existing home sites created by Berns, Clancy and Associates, received January 27, 2017
- F EcoCAT online report dated January 24, 2017
- G Storm Water Drainage Plan received January 27, 2017
- H Email from Michael Friend received November 4, 2016, with attachment:
- Typical home site diagram
- I Email from Rick Hafer, Illinois Department of Public Health, received November 10, 2016, with attachments:
- Construction permit dated May 10, 1960, for 43 home sites in Wilson Trailer Park
 - Construction permit dated January 5, 1970, for 32 home sites in Wilson Trailer Park
- J Email from Michael Friend received June 16, 2017, with attachment:
- Copy of Illinois Department of Public Health Permit Site Expansion Application packet received June 16, 2017
- K Email from Fred and Sharon Gerth received June 21, 2017
- L LRMP Land Use Goals, Objectives, and Policies
- M LRMP Appendix of Defined Terms
- N Site Images packet
- O Summary of Evidence, Finding of Fact, and Final Determination for Case 869-AM-17
- P Summary of Evidence, Finding of Fact, and Final Determination for Case 870-S-17

PRELIMINARY DRAFT**Cases 869-AM-17**
Page 25 of 28**SUMMARY FINDING OF FACT**

From the documents of record and the testimony and exhibits received at the public hearing conducted on **June 29, 2017**, and the Zoning Board of Appeals of Champaign County finds that:

1. The proposed Zoning Ordinance map amendment **{WILL / WILL NOT} HELP ACHIEVE** the Land Resource Management Plan because:
 - A. Regarding Goal 3 Prosperity:
 - (1) Although the proposed rezoning is **NOT DIRECTLY RELEVANT** to any of the Goal 3 objectives, the proposed rezoning will allow the petitioner to utilize the property somewhat more intensively and continue business operations in Champaign County.
 - (2) Based on achievement of the above and because it will either not impede or is not relevant to the other Objectives and Policies under this goal, the proposed map amendment **WILL HELP ACHIEVE** Goal 3 Prosperity.
 - B. Regarding Goal 5 Urban Land Use:
 - (1) It **WILL HELP ACHIEVE** Objective 5.1 regarding contiguous urban growth areas because it **WILL HELP ACHIEVE** the following:
 - a. Policy 5.1.3 requiring conformance with municipal comprehensive plans for developments propped with a municipality's 1.5 mile extraterritorial jurisdiction.
 - (2) It **WILL HELP ACHIEVE** Objective 5.3 regarding sufficient infrastructure and services for proposed new urban development because it **WILL HELP ACHIEVE** the following:
 - a. Policy 5.3.1 requiring sufficiently available public services for new urban development.
 - b. Policy 5.3.2 requiring proposed new urban development, with proposed improvements, to be adequately served by public infrastructure.
 - (3) Based on achievement of the above Objectives and Policies, the proposed map amendment **WILL HELP ACHIEVE** Goal 5 Urban Land Use.
 - C. Regarding Goal 7 Transportation:
 - (1) The proposed amendment **{WILL/ WILL NOT} HELP ACHIEVE** Goal 7 Transportation because it **{WILL/ WILL NOT} HELP ACHIEVE** the following:
 - a. Policy 7.1.1 requiring traffic impact analyses for projects with significant traffic generation.
 - D. Regarding Goal 8 Natural Resources:
 - (1) The proposed amendment will **HELP ACHIEVE** Goal 8 because it will **HELP ACHIEVE** the following:
 - a. Policy 8.4.2 requiring storm water management designs and practices that provide effective site drainage, protect downstream drainage patterns, minimize impacts on adjacent properties and provide for stream flows that support healthy aquatic ecosystems.

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- E. The proposed amendment **WILL NOT IMPEDE** the following LRMP goal(s):
- Goal 1 Planning and Public Involvement
 - Goal 2 Governmental Coordination
 - Goal 4 Agriculture
 - Goal 6 Public Health and Public Safety
 - Goal 9 Energy Conservation
 - Goal 10 Cultural Amenities
- F. Overall, the proposed map amendment *will* **HELP ACHIEVE** the Land Resource Management Plan.
2. The proposed Zoning Ordinance map amendment **{IS / IS NOT} CONSISTENT** with the *LaSalle* and *Sinclair* factors because of the following:
- A. It is impossible to establish property values without a formal real estate appraisal, which has not been requested nor provided, and so any discussion of values is necessarily general.
- B. There has been no evidence submitted regarding property values. This area is primarily residential and commercial in use, and the subject property has been a manufactured home park since 1960.
- C. The gain to the public of the proposed rezoning would be allow the Petitioner to provide lower cost housing for the community.
- D. Regarding public comments relevant to the proposed rezoning:
- (1) Fred Wahlfeldt, who resides at 208 Ira Street, called on June 19, 2017, to express opposition to the proposed plans.
 - (2) Mr. Tim Johnson called the P&Z Department on June 21, 2017 on behalf of some residents in the Edgewood Subdivision (east of the subject property). They are opposed to the proposed road connecting to North Smith Road at Slayback Street.
 - (3) The Urbana Township Road Commissioner has been notified of this case. He called the P&Z Department on June 21, 2017, to express opposition to the new road access to North Smith Road at Slayback Street.
- E. The subject property has been a manufactured home park since 1960 and cannot be converted back to agricultural production.
- F. The subject property is occupied and in use as a manufactured home park.
- G. The ZBA has recommended that the proposed rezoning **{WILL / WILL NOT} HELP ACHIEVE** the Champaign County Land Resource Management Plan.
3. The proposed Zoning Ordinance map amendment **{WILL / WILL NOT} HELP ACHIEVE** the purpose of the Zoning Ordinance because:

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- A. Establishing the special use as proposed by the Petitioner, which requires rezoning to R-5, **{WILL / WILL NOT}** lessen and avoid congestion in the public streets (Purpose 2.0 (c) see Item 21.C.).
 - B. Establishing the R-5 District at this location **WILL** lessen and avoid hazards to persons and damage to property resulting from the accumulation of runoff of storm or flood waters (Purpose 2.0 (d) see Item 21.D.).
 - C. Establishing the R-5 District at this location **WILL** help classify, regulate, and restrict the location of the uses authorized in the R-5 District (Purpose 2.0 (i) see Item 21.G.).
 - D. Establishing the R-5 District in this location **WILL** help protect the most productive agricultural lands from haphazard and unplanned intrusions of urban uses ((Purpose 2.0 (n) Item 21.I).
 - E. Establishing the R-5 District at this location **WILL** encourage the preservation of agricultural belts surrounding urban areas (Purpose 2.0 (q) Item 21.L).
 - F. The proposed rezoning and proposed Special Use **WILL NOT** hinder the development of renewable energy sources (Purpose 2.0(r) Item 21.M).
4. The proposed Zoning Ordinance map amendment is subject to the following special condition:
- No special conditions are currently proposed.**

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FINAL DETERMINATION

Pursuant to the authority granted by Section 9.2 of the Champaign County Zoning Ordinance, the Zoning Board of Appeals of Champaign County determines that:

The Zoning Ordinance Amendment requested in **Case 869-AM-17** should ***{BE ENACTED / NOT BE ENACTED}*** by the County Board in the form attached hereto.

The foregoing is an accurate and complete record of the Findings and Determination of the Zoning Board of Appeals of Champaign County.

SIGNED:

ATTEST:

Eric Thorsland, Chair
Champaign County Zoning Board of Appeals

Secretary to the Zoning Board of Appeals

Date

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Case 870-S-17

**SUMMARY OF EVIDENCE, FINDING OF FACT
AND FINAL DETERMINATION**

**of
Champaign County Zoning Board of Appeals**

Final Determination: ***{GRANTED/GRANTED WITH SPECIAL CONDITIONS/DENIED}***

Date: ***{June 29, 2017}***

Petitioners: **Stonetown Woodland Acres LLC, via agent Michael Friend**

Request: **CASE 870-S-17**

Authorize the establishment and use of a manufactured home park with 93 existing and an additional 21 proposed manufactured home sites in the R-5 Manufactured Home Park Zoning District, contingent upon the rezoning of the eastern 150 feet of the subject property from R-1 Single Family Residence to R-5 Manufactured Home Park and from B-2 Neighborhood Business to R-5 Manufactured Home Park for the 1.66 acre lot on the west end of the subject property in related case 869-AM-17, and also subject to the following required waivers on the subject property described below:

Part A: Authorize a waiver from Section 6.2.1 C.2., for a Site Plan that does not include the number, location, and size of all Manufactured Home Sites.

Part B: Authorize a waiver for a setback of 0 feet between a manufactured home stand and a manufactured home park exterior boundary that faces a state or US highway or a major street in lieu of the minimum required 45 feet, per Section 6.2.2 C.1.a. for existing home sites 1 through 10, 48, and 49, and proposed home sites 94 through 98.

Part C: Authorize a waiver for 9 Manufactured Home Sites for each gross acre of land in lieu of the maximum allowed 8 Manufactured Home Sites for each gross acre of land, per Section 6.2.2 B.

Part D: Authorize a waiver for a setback of 0 feet between a manufactured home stand and a manufactured home park exterior boundary that faces a township road or minor street in lieu of the minimum required 25 feet, per Section 6.2.2 C.1.c. for existing home sites 88 through 93.

Part E: Authorize a minimum rear yard of 0 feet in lieu of the minimum required 15 feet, per Section 6.2.2 C.2. for existing home sites 1 through 10, 47, 48, 50, 52, 55, 57, 58, 64, 89, and 91.

Part F: Authorize a Manufactured Home Park with 3 percent of the gross site area in lieu of the minimum required 8 percent and parcels of recreation space that are at least 3,985 square feet in lieu of the minimum required 6,000 square feet, per Section 6.2.2 D.

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Part G: Authorize a waiver from Section 6.2.2 E.1., for a Site Plan that does not include the limits of each Manufactured Home Site.

Part H: Authorize a minimum setback (yard) of 2 feet in lieu of 15 feet between the manufactured home and the manufactured home site boundary adjacent to private accessways, per Section 6.2.2 E.2.a. for proposed home site 114 and existing home sites 1 through 93 except home sites 27, 48, 64, 70, 71, and 72.

Part I: Authorize a minimum setback (yard) of 8 feet in lieu of 20 feet between the entrance side of the manufactured home and the manufactured home site boundary, per Section 6.2.2 E.2.b. for existing home sites 1 through 93 except home sites 1, 19, 27, 28, 39 through 44, 47, 66, 73, 74, 75, 77, 79, and 81.

Part J: Authorize a minimum setback (rear and side yards) of 0 feet in lieu of the minimum required 10 feet, per Section 6.2.2 E.2.c. for existing home sites 1 through 93 except home sites 11, 27, 47, 65, and 74.

Part K: Authorize a minimum manufactured home site of 1,600 square feet in area in lieu of the minimum required 3,200 square feet, per Section 6.2.2 E.3. for existing home sites 1 through 9, 13 through 18, 21, 29 through 38, 40, 41, 45, 46, 52 through 64, 67, 68, 74 through 77, 80, 85 and 86.

Part L: Authorize no outdoor paved living space in lieu of an outdoor living space of at least 160 square feet with a minimum dimension of 8 feet, per Section 6.2.2 E.5. for existing home sites 1 through 93.

Part M: Authorize no improved off-street parking spaces for each existing manufactured home site in lieu of the minimum required two improved off-street parking spaces, per Section 6.2.2 E.7. for existing home sites 7, 8, 13, 14, 15, 18, 29, 30, 33, 34, 37, 38, 46, 53, 54, and 67.

Part N: Authorize a minimum pavement width of 18 feet for existing private accessways in lieu of the minimum required 24 feet for minor streets, per Section 6.2.2 F.5.

Part O: Authorize a waiver from Section 6.2.2 F.6., with respect to paving materials, curbs and gutters, grading, intersections, offsets, and radii of curvature, that the provisions of the Subdivision Ordinance shall apply to existing private accessways.

Part P: Authorize electrical service to the existing street lighting system to be located above ground in lieu of underground, per Section 6.2.2 G.2.

Part Q: Authorize a waiver for the electrical system for all existing homes, any used homes that will replace existing homes, and for the electrical distribution system to existing homes, to comply with the latest edition of the National Electric Code, per Section 6.2.3 D.1.

Part R: Authorize a waiver for a Manufactured Home Park that provides an off-site Management Office in lieu of an on-site Management Office, per Section 6.2.4 A.

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SUMMARY OF EVIDENCE

From the documents of record and the testimony and exhibits received at the public hearing conducted on **June 29, 2017**, the Zoning Board of Appeals of Champaign County finds that:

- *1. Stonetown Woodland Acres LLC, 720 S Colorado Blvd #1150N, Glendale, CO 80246, is the owner of Woodland Acres Manufactured Home Park. Dax Nolan, Vice President of the LLC, 720 S Colorado Blvd #1150N, Glendale, CO 80246, represents the LLC for this zoning case. The managers of Stonetown Woodland Acres LLC are Roy Lapidus, 1 Alexander Lane, Greenwood Village, CO 80121, and Adam Minnick, 452 Leyden St, Denver, CO 80220. Michael Friend, Engineering Manager for Farnsworth Group in Champaign, is the local agent for this zoning case.
- *2. The subject property is comprised of three tracts of land totaling 13.37 acres, generally south and east of the Urbana spur of I-74 (University Avenue/IL Route 130), north of US Route 150 (University Avenue) and west of Smith Road, in the Southeast Quarter of the Southeast Quarter of Section 9 and the West Half of the Southwest Quarter of Section 10 of Township 19 North, Range 9 East of the Third Principal Meridian in Urbana Township and commonly known as Woodland Acres Manufactured Home Park, with an address of 2200 East University, Urbana.
- *3. Regarding municipal extraterritorial jurisdiction and township planning jurisdiction:
 - *A. The subject property is located within the one and one-half mile extraterritorial jurisdiction of the City of Urbana, a municipality with zoning. Municipalities with Planning Commissions are notified of Special Use Permit cases, but do not have protest rights in these cases.
 - *B. The subject property is located within Urbana Township, which does not have a Planning Commission.

GENERALLY REGARDING LAND USE AND ZONING IN THE IMMEDIATE VICINITY

- 4. Land use and zoning on the subject property and in the vicinity are as follows:
 - *A. The subject property is a 13.37 acre tract with a land use of Manufactured Home Park, and is currently in 3 different zoning districts:
 - (1) The eastern 150 feet is zoned R-1 Single Family Residence.
 - (2) The west 1.66 acre lot is zoned B-2 Neighborhood Business.
 - (3) The remainder is in the appropriate R-5 Manufactured Home Park Zoning District.
 - *B. Land to the north and northeast of the subject property is zoned R-5 Manufactured Home Park and is residential in use; to the northwest is R-4 Multiple Family Residence, and is vacant land owned by Flex-N-Gate.
 - *C. Land to the east is zoned R-1 Single Family Residence and is residential in use.
 - *D. Land to the south is zoned B-2 Neighborhood Business, R-5 Manufactured Home Park, and R-1 Single Family Residence, and is commercial and residential in use.

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* (1) The petitioners also own the 1.29 acre lot zoned B-2 Neighborhood Business south of the subject properties, which houses the Manufactured Home Park's office and shares a building with a thrift shop.

*E. Land to the west is zoned B-2 Neighborhood Business, and is commercial in use.

GENERALLY REGARDING THE PROPOSED SPECIAL USE

5. Regarding the site plan and proposed operations of the subject property:

*A. The ALTA Survey created by Berns, Clancy and Associates, received January 27, 2017, indicates the following existing improvements and the Stonetown Woodland Acres Mobile Home Park Expansion County Review Drawings received January 27, 2017, indicates the following proposed improvements:

* (1) Existing buildings and structures on the ALTA Survey include:

- *a. 93 manufactured home sites;
- *b. A non-conforming single family residence in the southwest corner of the subject property;
- *c. An empty site in the northwest corner of the subject property that was previously a single family residence (demolished in 2016);
- *d. A non-conforming single family residence south of home sites east of Dale Lane and northeast of the existing Woodland Acres office;
- *e. A non-conforming single family residence in the proposed expansion area, to be demolished;
- *f. A detached shed in the proposed expansion area, to be demolished;
- *g. A wood barn in the proposed expansion area, to be demolished;
- *h. A playground area in the proposed expansion area, to be removed; and
- *i. The subject properties are connected to public water and sewer.
- *j. The petitioners also own the 1.29 acre lot zoned B-2 Neighborhood Business south of the subject properties, which houses the Manufactured Home Park's office and shares a building with a thrift shop.
 - * (a) A "Variety Store" is authorized in the B-2 Zoning District, but not at all in the R-5 Zoning District. The petitioners indicated in a meeting with Susan Burgstrom on February 1, 2017, that ultimately they would like to rezone the thrift shop property with the knowledge that it cannot be extended, altered, or replaced if destroyed. The petitioners do not yet have a plan for future use on that lot, but indicated that any use they propose would be allowed in the proposed R-5 Zoning District. The petitioners stated that they would address the rezoning and redevelopment of the B-2 zoned property at a later date.

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- * (2) Proposed improvements according to the Stonetown Woodland Acres Mobile Home Park Expansion County Review Drawings received January 27, 2017 include:
- *a. Combining two existing home sites into one larger site in several locations; the petitioners have not yet identified which existing sites would be combined, but they have stated verbally that this would create a net zero change in the number of existing home sites. Existing home sites 27, 47, 50, and 64 were constructed without authorization and will be maintained, which would balance out the reduction in home sites due to combining sites.
 - *b. 21 new home sites in the northeast corner of the property, with related road and utility infrastructure;
 - *c. A new entrance to the park off North Smith Road at the intersection of Slayback Street;
 - *d. A dry detention basin in the northeast corner of the property; and
 - *e. A playground area with four parking spaces near the location of the wood barn that will be demolished.
 - *f. The Expansion County Review Drawings received January 27, 2017, includes the following sheets:
 - (a) C1.0 Cover Sheet
 - (b) C2.0 General Notes and Legends
 - (c) C3.0 Existing Topography and Demolition Plan
 - (d) C4.0 Grading Plan
 - (e) C5.0 Utility Plan/Sanitary and Storm
 - (f) C6.0 Utility Plan/Water, Gas and Electric
 - (g) C6.1 Plan and Profile – Sanitary
 - (h) C7.0 Plan and Profile – Sanitary
 - (i) C7.1 Plan and Profile – Sanitary
 - (j) C7.2 Plan and Profile – Sanitary
 - (k) C7.3 Plan and Profile – Sanitary and Sanitary Details
 - (l) C8.0 Standard Sanitary Sewer Details
 - (m) C8.1 Standard Storm Sewer Details
 - (n) C8.2 Standard Water Main Details
 - (o) C8.3 Pavement and Erosion Control Details
 - (q) C8.4 Landscape Details and Notes
- *B. The Revised Stonetown Woodland Acres Mobile Home Park Expansion County Review Drawings received June 5, 2017, includes the following changes on the same sheets listed above plus Sheet C8.3 (a second sheet with additional Standard Water Main Details), which in turn rennumbers the Pavement sheet to C8.4 and the Landscape sheet to C8.5.
- (1) Proposed home sites that were numbered 1 through 21 on the January 27, 2017, Expansion County Review Drawings are now numbered 94 through 114.
 - (2) On Sheet C4.0, contour lines have been added as well as more detail on the proposed detention basin.

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- (3) Sheets C5.0 and C6.0 also have more details on the proposed basin.
 - (4) Remaining Sheets have additional details and annotations.
- *C. The Overall Layout Plan dated June 16, 2017, and received on the same day, is the official Site Plan for approval. It contains the following revisions and clarifications:
- * (1) Michael Friend, Engineer for Farnsworth Group, submitted the revised drawing in an email dated June 16, 2017. He indicated that the drawing is for illustration purposes only, as it is a PDF which merges several other drawings together, with some parts of it created by others.
 - * (2) All existing and proposed home sites have been numbered and included in one drawing rather than having separate drawings for existing and proposed home sites.
 - * (3) Existing home sites 30 through 36 (7 sites) have been reconfigured to create 5 larger home sites numbered 32, 33, 34, 35, and 36 (site numbers 30 and 31 are no longer used).
 - * (4) New sites 49A and 49B have been added to the northwest corner of the subject property.
 - *a. The petitioners note that there will be a net zero change in the number of existing home sites by reconfiguring sites 30 through 36 and adding sites 49A and 49B.
 - * (5) Existing sites 27, 47 and 64 have been renumbered to 50A, 50B, and 50C, respectively.
 - * (6) An existing open space in the southeastern part of the subject property has been designated as an additional recreation area of approximately 23,335 square feet and will be referred to as Recreation Area C in discussion.
 - a. Total proposed square footage for recreational areas would include:
 - (a) Area A (northeast corner proposed dry detention area): 16,282.6 square feet;
 - (b) Area B (southwest corner of proposed expansion area): 3984.9 square feet; and
 - (c) Area C (south of home sites 65 through 73): 23,335 square feet.
 - (d) The total of the 3 areas is 43,602.5 square feet, which is 7.5% of the 13.37 acre subject property.
 - (e) In order to meet the Zoning Ordinance minimum of 8%, there would need to be a total of 46,592 square feet in recreation areas, which is 2,989 square feet more than proposed. Waiver Part F requested as part of Special Use Permit Case 870-S-17 would still be necessary for compliance with the Zoning Ordinance.

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- *D. The Revised Stonetown Woodland Acres Mobile Home Park Expansion Permit Drawings received June 16, 2017, will also be included in the official Site Plan for approval and include the following revisions:
- * (1) The Permit Drawings set includes the following sheets:
- a. C1.0 Cover Sheet
 - b. C2.0 General Notes and Legends
 - c. C3.0 Existing Topography and Demolition Plan
 - d. C4.0 Grading Plan
 - e. C5.0 Utility Plan/Sanitary and Storm
 - f. C6.0 Utility Plan/Water, Gas and Electric
 - g. C6.1 Plan and Profile – Sanitary
 - h. C7.0 Plan and Profile – Sanitary
 - i. C7.1 Plan and Profile – Sanitary
 - j. C7.2 Plan and Profile – Sanitary
 - k. C7.3 Plan and Profile – Sanitary and Sanitary Details
 - l. C8.0 Standard Sanitary Sewer Details
 - m. C8.1 Standard Storm Sewer Details
 - n. C8.2 Standard Water Main Details
 - o. C8.3 Standard Water Main Details
 - p. C8.4 Pavement and Erosion Control Details
 - q. C8.5 Landscape Details and Notes
- * (2) Sheet C7.3 Sanitary Sewer Plan Profile has replaced the “Typical Riser Detail for Deep Service Lateral” and the “Shallow Service Lateral Detail” shown in the June 5, 2017 revision, with a “Typical Sanitary Sewer Riser Detail” in the June 16, 2017 revision.
- * (3) Sheet C8.0 Standard Sanitary Sewer Details has replaced Typical Sanitary Sewer Details shown in the June 5, 2017 revision with a blank area.
- *E. The following are previous Zoning Use Permits on the subject property:
- * (1) The following information was provided by the Illinois Department of Public Health:
- a. 43 home sites were constructed under an Illinois Department of Public Health permit issued May 10, 1960.
 - b. Another 32 home sites were permitted on January 5, 1970, for a total of 75 home sites.
 - c. No information was available from Public Health to confirm when the remaining 18 home sites were constructed that would comprise the 93 existing home sites.
 - (a) Aerial photography from 1973 shows 91 home sites.
 - (b) Aerial photography from 2014 and before does not show the other 2 home sites, which are located east of the Casey’s General Store.

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- * (2) ZUP #087-74-01 was approved on March 28, 1974, to open a Bakery Thrift Store in the Wilson Trailer Park; staff believes this was located on part of what are now 2 lots housing the Casey's General Store and the western lot of the subject property.
- * (3) ZUP #323-74-01 was approved on November 19, 1974, for a change of use to re-open a restaurant and install a 24 square feet sign, on what is now the MHP office lot.
- * (4) Change of Use Permit #94-85-02 was approved on April 8, 1985, for a change of use for a craft shop, on what is now the MHP office lot.
- * (5) Change of Use Permit #157-86-03 was approved on June 11, 1986, for a change of use for an insurance office, on what is now the MHP office lot.
- * (6) ZUP #205-87-01 was approved on July 24, 1987, for construction of a retail storage building for the Champaign County Power Equipment Co., on what are now 2 lots housing the Casey's General Store and the western lot of the subject property.
- * (7) Change of Use Permit #292-89-02 was approved on October 19, 1989, for a change of use for a siding and window company in the east half of an existing building, on what is now the MHP office lot.
- * (8) Change of Use Permit #157-90-01 was approved on June 8, 1990, for a change of use for a portion of the building with the existing siding and Window Company to house a toning center, on what is now the MHP office lot.
- * (9) ZUP #58-92-02 was approved on February 28, 1992, for an addition to an existing warehouse for the Champaign County Power Equipment Co., on what are now 2 lots housing the Casey's General Store and the western lot of the subject property.
- * (10) Change of Use Permit #346-94-01 was approved on December 12, 1994, for a change of use for an antique sales and gift shop, on what is now the MHP office lot.
- * (11) ZUP #06-97-01 was approved on January 6, 1997, for an addition to an existing building for the Champaign County Power Equipment Co., on what are now 2 lots housing the Casey's General Store and the western lot of the subject property.
- * (12) Change of Use Permit #311-97-02 was approved on November 12, 1997, for a change of use for a beauty shop, on what is now the MHP office lot.
- * (13) ZUP #316-97-05 was approved on November 13, 1997, for 6 wall signs for the Champaign County Power Equipment Co., on what are now 2 lots housing the Casey's General Store and the western lot of the subject property.
- * (14) ZUP #152-98-02 was approved on June 3, 1998, for the construction of a freestanding sign by Premier Hospitality Management Group, on what is now the MHP office lot.
- * (15) Change of Use Permit #363-06-01 was approved on February 9, 2007, for a change of use to establish a church, on what is now the MHP office lot.

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- *(16) Change of Use Permit #277-08-01 was approved on November 13, 2008, for a change of use to establish a resale (variety store) shop and to install a wall sign, on what is now the MHP office lot.

GENERALLY REGARDING SPECIFIC ORDINANCE REQUIREMENTS

6. Regarding the requested Special Use in the R-5 Manufactured Home Park Zoning District:
- A. The following definitions from the *Zoning Ordinance* are especially relevant to the requested Special Use Permit (capitalized words are defined in the Ordinance):
- (1) "AREA, LOT" is the total area within the LOT LINES.
 - (2) "DWELLING" is a BUILDING or MANUFACTURED HOME designated for non-transient residential living purposes and containing one or more DWELLING UNITS and/or LODGING UNITS.
 - (3) "FRONTAGE" is that portion of a LOT abutting a STREET or ALLEY.
 - (4) "LOT" is a designated parcel, tract or area of land established by PLAT, SUBDIVISION or as otherwise permitted by law, to be used, developed or built upon as a unit.
 - (5) "LOT LINE, FRONT" is a line dividing a LOT from a STREET or easement of ACCESS. On a CORNER LOT or a LOT otherwise abutting more than one STREET or easement of ACCESS only one such LOT LINE shall be deemed the FRONT LOT LINE.
 - (6) "LOT LINE, REAR" is any LOT LINE which is generally opposite and parallel to the FRONT LOT LINE or to a tangent to the midpoint of the FRONT LOT LINE. In the case of a triangular or gore shaped LOT or where the LOT comes to a point opposite the FRONT LOT LINE it shall mean a line within the LOT 10 feet long and parallel to and at the maximum distance from the FRONT LOT LINE or said tangent.
 - (7) "LOT LINES" are the lines bounding a LOT.
 - (8) "MANUFACTURED HOME" is a factory assembled DWELLING UNIT designed and constructed to be transported in one or more parts by truck or by towing on wheels temporarily or permanently attached to its frame. This definition shall include mobile homes and modular homes or housing units and shall exclude MOTOR VEHICLES and TRAVEL TRAILERS.
 - (9) "MANUFACTURED HOME PARK" is a designated contiguous parcel of land planned and improved for the placement of five or more MANUFACTURED HOMES.
 - (10) "MANUFACTURED HOME PARK SERVICE BUILDING" is a permanent STRUCTURE housing laundry, recreation, office, sanitation or other community

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facilities as required in MANUFACTURED HOME PARKS for use by MANUFACTURED HOME PARK occupants.

- (11) “MANUFACTURED HOME SITE” is a designated parcel of land in a MANUFACTURED HOME PARK intended for the placement of an individual MANUFACTURED HOME, for the exclusive use of its occupants.
- (12) “MANUFACTURED HOME STAND” is that part of an individual MANUFACTURED HOME SITE which has been constructed for the placement of a MANUFACTURED HOME.
- (13) “NONCONFORMING LOT, STRUCTURE or USE” is a LOT, SIGN, STRUCTURE, or USE that existed on the effective date of the adoption or amendment of this ordinance which does not conform to the regulations and standards of the DISTRICT in which it is located.
- (14) “OPEN SPACE” is the unoccupied space open to the sky on the same LOT with a STRUCTURE.
- (15) “PARKING SPACE” is a space ACCESSORY to a USE or STRUCTURE for the parking of one vehicle.
- (16) “PUBLIC SANITARY SEWER SYSTEM” is any system, other than an individual septic tank or tile field, that is operated by a municipality, governmental agency, or a public utility for the collection, treatment, and disposal of liquid and solid sewage wastes, other than stormwaters.
- (17) “PUBLIC WATER SUPPLY SYSTEM” is any system, other than an individual well, that is operated by a municipality, governmental agency, or a public utility for the purpose of furnishing potable water.
- (18) “SCREEN” is a STRUCTURE or landscaping element of sufficient opaqueness or density and maintained such that it completely obscures from view throughout its height the PREMISES upon which the screen is located.
- (19) “SETBACK LINE” is the BUILDING RESTRICTION LINE nearest the front of and across a LOT establishing the minimum distance to be provided between a line of a STRUCTURE located on said LOT and the nearest STREET RIGHT-OF-WAY line.
- (20) SIDEWALK: That paved portion of the RIGHT-OF-WAY designed and intended for the movement of and use of pedestrian traffic.
- (21) “SPECIAL CONDITION” is a condition for the establishment of a SPECIAL USE.
- (22) “SPECIAL USE” is a USE which may be permitted in a DISTRICT pursuant to, and in compliance with, procedures specified herein.
- (23) “STREET” is a thoroughfare dedicated to the public within a RIGHT-OF-WAY which affords the principal means of ACCESS to abutting PROPERTY. A

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STREET may be designated as an avenue, a boulevard, a drive, a highway, a lane, a parkway, a place, a road, a thoroughfare, or by other appropriate names. STREETS are identified on the Official Zoning Map according to type of USE, and generally as follows:

- (a) MAJOR STREET: Federal or State highways.
 - (b) COLLECTOR STREET: COUNTY highways and urban arterial STREETS.
 - (c) MINOR STREET: Township roads and other local roads.
- (24) “USE” is the specific purpose for which land, a STRUCTURE or PREMISES, is designed, arranged, intended, or for which it is or may be occupied or maintained. The term “permitted USE” or its equivalent shall not be deemed to include any NONCONFORMING USE.
- (25) “VARIANCE” is a deviation from the regulations or standards adopted by this ordinance which the Hearing Officer or the Zoning BOARD of Appeals are permitted to grant.
- (26) “YARD” is an OPEN SPACE, other than a COURT, of uniform depth on the same LOT with a STRUCTURE, lying between the STRUCTURE and the nearest LOT LINE and which is unoccupied and unobstructed from the surface of the ground upward except as may be specifically provided by the regulations and standards herein.
- (27) “YARD, FRONT” is a YARD extending the full width of a LOT and situated between the FRONT LOT LINE and the nearest line of a PRINCIPAL STRUCTURE located on said LOT. Where a LOT is located such that its REAR and FRONT LOT LINES each abut a STREET RIGHT-OF-WAY both such YARDS shall be classified as FRONT YARDS.
- (28) “YARD, REAR” is a YARD extending the full width of a LOT and situated between the REAR LOT LINE and the nearest line of a PRINCIPAL STRUCTURE located on said LOT.
- (29) “YARD, SIDE” is a YARD situated between a side LOT LINE and the nearest line of a PRINCIPAL STRUCTURE located on said LOT and extending from the rear line of the required FRONT YARD to the front line of the required REAR YARD.
- B. Subsection 6.1 contains standard conditions that apply to all SPECIAL USES, standard conditions that may apply to all SPECIAL USES, and standard conditions for specific types of SPECIAL USES. Relevant requirements from Subsection 6.1 are as follows:
- (1) Paragraph 6.1.2 A. indicates that all Special Use Permits with exterior lighting shall be required to minimize glare on adjacent properties and roadways by the following means:
 - a. All exterior light fixtures shall be full-cutoff type lighting fixtures and shall be located and installed so as to minimize glare and light trespass. Full cutoff means that the lighting fixture emits no light above the horizontal plane.

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- b. No lamp shall be greater than 250 watts and the Board may require smaller lamps when necessary.
 - c. Locations and numbers of fixtures shall be indicated on the site plan (including floor plans and building elevations) approved by the Board.
 - d. The Board may also require conditions regarding the hours of operation and other conditions for outdoor recreational uses and other large outdoor lighting installations.
 - e. The Zoning Administrator shall not approve a Zoning Use Permit without the manufacturer's documentation of the full-cutoff feature for all exterior light fixtures.
- C. Current Zoning Ordinance regulations for Section 6.2: Manufactured Home Parks are provided as an attachment to this Summary of Evidence.
- D. Section 9.1.11 requires that a Special Use Permit shall not be granted by the Zoning Board of Appeals unless the public hearing record and written application demonstrate the following:
- (1) That the Special Use is necessary for the public convenience at that location;
 - (2) That the Special Use is so designed, located, and proposed as to be operated so that it will not be injurious to the DISTRICT in which it shall be located or otherwise detrimental to the public welfare except that in the CR, AG-1, and AG-2 DISTRICTS the following additional criteria shall apply:
 - a. The property is either BEST PRIME FARMLAND and the property with proposed improvements in WELL SUITED OVERALL or the property is not BEST PRIME FARMLAND and the property with proposed improvements is SUITED OVERALL.
 - b. The existing public services are available to support the proposed SPECIAL USE effectively and safely without undue public expense.
 - c. The existing public infrastructure together with proposed improvements is adequate to support the proposed development effectively and safely without undue public expense.
 - (3) That the Special Use conforms to the applicable regulations and standards of and preserves the essential character of the DISTRICT in which it shall be located, except where such regulations and standards are modified by Section 6.
 - (4) That the Special Use is in harmony with the general purpose and intent of this ordinance.
 - (5) That in the case of an existing NONCONFORMING USE, it will make such USE more compatible with its surroundings.

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- E. Paragraph 9.1.11.D.1. states that a proposed Special Use that does not conform to the standard conditions requires only a waiver of that particular condition and does not require a variance. Regarding standard conditions:
- (1) The Ordinance requires that a waiver of a standard condition requires the following findings:
 - a. That the waiver is in accordance with the general purpose and intent of the ordinance; and
 - b. That the waiver will not be injurious to the neighborhood or to the public health, safety, and welfare.
 - (2) However, a waiver of a standard condition is the same thing as a variance and Illinois law (55ILCS/ 5-12009) requires that a variance can only be granted in accordance with general or specific rules contained in the Zoning Ordinance and the VARIANCE criteria in paragraph 9.1.9 C. include the following in addition to criteria that are identical to those required for a waiver:
 - a. Special conditions and circumstances exist which are peculiar to the land or structure involved, which are not applicable to other similarly situated land and structures elsewhere in the same district.
 - b. Practical difficulties or hardships created by carrying out the strict letter of the regulations sought to be varied will prevent reasonable or otherwise permitted use of the land or structure or construction.
 - c. The special conditions, circumstances, hardships, or practical difficulties do not result from actions of the applicant.
- F. Paragraph 9.1.11 D.2. states that in granting any SPECIAL USE permit, the BOARD may prescribe SPECIAL CONDITIONS as to appropriate conditions and safeguards in conformity with the Ordinance. Violation of such SPECIAL CONDITIONS when made a party of the terms under which the SPECIAL USE permit is granted, shall be deemed a violation of this Ordinance and punishable under this Ordinance.

GENERALLY REGARDING WHETHER THE SPECIAL USE IS NECESSARY FOR THE PUBLIC CONVENIENCE AT THIS LOCATION

7. Generally regarding the *Zoning Ordinance* requirement that the proposed Special Use is necessary for the public convenience at this location:
 - A. The Petitioners testified on the application, **“The subject over +/- 14.16 acres property is owned by Stonetown Woodland Acres LLC. The proposed project is in an undeveloped +/- 3.66 acre located in the northeast portion of the existing manufactured home park. This project will develop the area for additional housing at the existing facility.”**
 - B. Regarding the existing manufactured homes:
 - (1) Most of the existing home sites in Woodland Acres are occupied.

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- (2) Site visits by staff indicate that homes range from older to new, and fair to good condition.
- (3) All existing manufactured homes are “non-conforming structures” and cannot be replaced without the necessary variance and/or waiver.

GENERALLY REGARDING WHETHER THE SPECIAL USE WILL BE INJURIOUS TO THE DISTRICT OR OTHERWISE INJURIOUS TO THE PUBLIC WELFARE

- 8. Generally regarding the *Zoning Ordinance* requirement that the proposed Special Use be designed, located, and operated so that it will not be injurious to the District in which it shall be located, or otherwise detrimental to the public welfare:
 - A. The Petitioner has testified on the application, **“See attached plans for the proposed facility. The expansion of this existing facility will provide needed economical housing by completing the development of an existing manufactured home park. The development of this remaining 3.66+/- acres will be in accordance with Section 6.2 of the Champaign County Zoning Ordinance on an existing manufactured home facility property.”**
 - B. Regarding traffic, the following evidence is provided:
 - * (1) The subject property is off East University Avenue/IL 130/US 150, approximately 1 mile west of High Cross Road/IL 130 and 1.3 miles east of US 45 North (Cunningham Avenue) in Urbana.
 - a. East University Avenue in the vicinity of the subject property is a 3-lane concrete urban cross section with curb and gutter. The pavement width is about 40 feet.
 - b. North Smith Road to the north of University Avenue is a 2 lane collector with no shoulders, curb or gutter, which ranges from 22 to 28 feet wide.
 - * (2) The Illinois Department of Transportation measures traffic on various roads throughout the County and determines the annual average 24-hour traffic volume for those roads and reports it as Average Daily Traffic (ADT). The most recent ADT data is from 2015-2016 in the vicinity of the subject property.
 - *a. East University Avenue had an ADT of 13,100 east of North Smith Road in 2015.
 - *b. North Smith Road to the north of University Avenue had an ADT of 800 in 2016. North Smith Road to the south of University Avenue had an ADT of 5,900 in 2016.
 - *c. The traffic generated by the proposed use will increase with the addition of 21 home sites.
 - (a) Generally, the Zoning Department assumes 10 vehicle trips per day for a residence. The proposed 21 new home sites would thus increase traffic by about 210 trips per day.

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- (b) The petitioners propose opening a second access on North Smith Road, which would increase traffic at the intersection of East University Avenue and North Smith Road.
- * (3) The Illinois Department of Transportation's *Manual of Administrative Policies of the Bureau of Local Roads and Streets* provides ideal design criteria for new construction/reconstruction.
- * a. Regarding East University Avenue:
- * (a) The 40 feet width for an existing urban two-way, two lane arterial would equate to a maximum recommended two-way design hourly volume (DHV) of no more than 1,250, roughly equivalent to an ADT of 10,400. However, this section of University Avenue has a dual left middle turn lane, which increases traffic flow so that it functions more like a 4-lane cross section. A 4-lane cross section would be designed for an ADT of 10,400 to 17,000.
- * (b) P&Z Staff believe that East University Avenue operates within its design capacity, and that the proposed increase would still function at an acceptable level, although no formal Traffic Impact Analysis has been done.
- * b. Regarding North Smith Road:
- * (a) Rural two-lane collectors with an ADT of 800 should have a minimum 4 feet wide shoulder. North Smith Road does not have shoulders but does have wide grass areas on both sides.
- * (b) A 22 feet wide pavement width with a minimum 4 feet wide shoulder would be designed for an ADT of 400 to 2000.
- * (c) P&Z Staff believe that North Smith Road operates within its design capacity, and that the proposed increase would still function at an acceptable level, although no formal Traffic Impact Analysis has been done.
- * (4) The petitioners propose opening a second access on North Smith Road, which would increase traffic at the intersection of East University Avenue and North Smith Road.
- * a. The Urbana Township Road Commissioner has been notified of this case. He called the P&Z Department on June 21, 2017, to express opposition to the new road access to North Smith Road at Slayback Street. He asked if parking would be allowed on the 20 feet wide proposed private access drive; Susan Burgstrom told him that the Zoning Ordinance does not allow on-street parking for a 20 feet wide street.
- * b. Mr. Tim Johnson called the P&Z Department on June 21, 2017 on behalf of some residents in the Edgewood Subdivision (east of the subject property). They are opposed to the proposed road connecting to North Smith Road at Slayback Street.

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- C. Regarding fire protection on the subject property, the subject property is located within the Edge-Scott Fire Protection District. The Fire Chief has been notified of this case but no comments have been received.
- *D. Regarding stormwater management on the subject property:
- * (1) A Storm Water Drainage Plan with detention is required because there is more than one acre of impervious area added in the new development.
 - * (2) The Storm Water Drainage Plan completed by Farnsworth Group and received January 27, 2017, includes one Large and one Small detention basin in the northeast corner of the subject property.
 - * a. Farnsworth Group concluded, “The results of the analysis demonstrate that adequate detention storage volume is provided for the proposed expansion of the Woodland Acres Mobile Home Site. The results of the storm routing indicates that the allowable peak discharges required by both IDOT and Champaign County will not be exceeded once the site has been constructed as proposed.”
 - * b. The Department of Planning and Zoning contracted with independent engineering consultant Berns, Clancy and Associates to review the drainage plan. They concluded, “The volume of storm water detention required for the expansion of Woodland Acres Mobile Home Park was correctly determined using a critical duration analysis. An area of the proposed development will be rerouted from draining to an existing storm sewer, to draining through a detention basin before the water outlets to a roadside ditch, which may ease the pressure on the existing system. The outlet pipes for each basin appear to have been sized correctly, as long as the clogging issue is properly dealt with for the 5-inch diameter outlet of the Small Basin. The overall proposed plan does appear to benefit the community. At this time, the plan needs a few changes or further explanations to meet the Champaign County Storm Water Management Regulations.”
 - * (3) The Storm Water Pollution Prevention Plan (SWPPP) received January 27, 2017, indicates the following:
 - * a. The subject property is not in the mapped floodplain, per FEMA FIRM panel 17019C0431D.
 - * b. “The critical area of the site is the existing drainage ditch within the IDOT right-of-way to the north of the project site. This ditch must remain clean and active at all times.”
 - * c. The project will require a Land Disturbance and Erosion Control Permit from the P&Z Department; a storm water discharge permit from the Illinois Department of Transportation; and a NPDES permit from the Illinois Environmental Protection Agency.
 - i. Farnsworth Group has completed a LDEC permit for the P&Z Department, the IDOT permit, and a Notice of Intent for the IEPA NPDES permit.

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- * (4) The Erosion and Sediment Control Plan (ESCP) received January 27, 2017, indicates what measures will be taken during construction to ensure that neighboring land will not be impacted by runoff and erosion.
- E. The subject property is not considered to be BEST PRIME FARMLAND. The soils on the subject property consist of 618B Senachwine silt loam, 171B Catlin silt loam, and 154A Flanagan silt loam. The property has an average LE of 79.
- (1) The property has not been in agricultural production for decades.
 - (2) Future development will not change the use of the property.
- F. Regarding outdoor lighting on the subject property:
- (1) There are proposed street lamps on Sheet C6.1: Utility Plan received June 5, 2017.
 - (2) There is a note on Sheet C2.0: General Notes of the revised Expansion County Review Drawings received June 5, 2017, which states, "13. Street lighting will be provided at a minimum at locations depicted on the plans. Lighting shall meet the requirements of Section 6.2.2.G of the Champaign County Zoning Ordinance. A photometric plan verifying that a minimum of 0.1 footcandles throughout the street system and 0.3 footcandles at potentially hazardous locations will be provided."
- G. Regarding wastewater treatment and disposal on the subject property:
- (1) All existing home sites have a private sanitary sewer system, which connects to the Urbana-Champaign Sanitary District public system. Proposed home sites will connect to the existing system.
 - (2) No information has been provided regarding current status and maintenance of the private system.
- H. Regarding life safety considerations related to the proposed Special Use:
- (1) Champaign County has not adopted a building code. Life safety considerations are considered to a limited extent in Champaign County land use regulation as follows:
 - a. The Office of the State Fire Marshal has adopted the Code for Safety to Life from Fire in Buildings and Structures as published by the National Fire Protection Association (NFPA 101) 2000 edition, Life Safety Code, as the code for Fire Prevention and Safety as modified by the Fire Prevention and Safety Rules, 41 Ill. Adm Code 100, that applies to all localities in the State of Illinois.
 - b. The Office of the State Fire Marshal is authorized to enforce the Fire Prevention and Safety Rules and the code for Fire Prevention and Safety and will inspect buildings based upon requests of state and local government, complaints from the public, or other reasons stated in the Fire Prevention and Safety Rules, subject to available resources.
 - c. The Office of the State Fire Marshal currently provides a free building plan review process subject to available resources and subject to submission of

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plans prepared by a licensed architect, professional engineer, or professional designer that are accompanied by the proper Office of State Fire Marshal Plan Submittal Form.

- d. Compliance with the Code for Fire Prevention and Safety is mandatory for all relevant structures anywhere in the State of Illinois whether or not the Office of the State Fire Marshal reviews the specific building plans.
 - e. Compliance with the Office of the State Fire Marshal's code for Fire Prevention and Safety is not required as part of the review and approval of Zoning Use Permit Applications.
- *I. Regarding public comments on the proposed rezoning and special use permit with waivers:
- (1) Fred Wahlfeldt, who resides at 208 Ira Street, called on June 19, 2017, to express opposition to the proposed plans.
 - (2) Mr. Tim Johnson called the P&Z Department on June 21, 2017 on behalf of some residents in the Edgewood Subdivision (east of the subject property). They are opposed to the proposed road connecting to North Smith Road at Slayback Street.
 - (3) The Urbana Township Road Commissioner has been notified of this case. He called the P&Z Department on June 21, 2017, to express opposition to the new road access to North Smith Road at Slayback Street.
- J. Other than as reviewed elsewhere in this Summary of Evidence, there is no evidence to suggest that the proposed Special Use will generate either nuisance conditions such as odor, noise, vibration, glare, heat, dust, electromagnetic fields or public safety hazards such as fire, explosion, or toxic materials release, that are in excess of those lawfully permitted and customarily associated with other uses permitted in the zoning district.

GENERALLY REGARDING WHETHER THE SPECIAL USE CONFORMS TO APPLICABLE REGULATIONS AND STANDARDS AND PRESERVES THE ESSENTIAL CHARACTER OF THE DISTRICT

9. Generally regarding the *Zoning Ordinance* requirement that the proposed Special Use conform to all applicable regulations and standards and preserve the essential character of the District in which it shall be located, except where such regulations and standards are modified by Section 6 of the Ordinance:
- A. The Petitioner has testified on the application: **“Yes. This proposed expansion is prepared in accordance with 6.2 of the Champaign County Zoning Ordinance, for “Manufactured Home Parks”, with only minor variances. The previously developed portion of the facility will also become compliant with issuance of a special use permit, variances and map amendment for the facility.”**
 - B. Regarding compliance with the *Zoning Ordinance*:
 - (1) Expansion of Manufactured Home Parks is allowed in the R-5 Manufactured Home Park Zoning District with a Special Use Permit.

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- (2) Waiver Part A is necessary because the size of all existing home sites is unknown. Proposed sites have their size indicated on the Site Plan received June 5, 2017.
- (3) Waiver Part B is necessary because the existing home sites on the north side of the property and existing home sites 50 and 52 on the southwest corner of the property are less than 45 feet from the adjacent US highway. 14 out of 114 total home sites are affected by this waiver.
- (4) Waiver Part C is necessary because there are 9 home sites per gross acre in the Manufactured Home Park, rather than the maximum allowed 8 home sites per gross acre.
- (5) Waiver Part D is necessary because home stands on existing home sites 88 through 93 are less than 25 feet from the eastern property line. 6 out of 114 total home sites are affected by this waiver.
- (6) Waiver Part E is necessary because 20 of the 93 existing home sites have a rear yard that is less than 15 feet.
- (7) Waiver Part F is necessary because the total proposed recreation area is less than 8 percent of the gross manufactured home park area.
- (8) Waiver Part G is necessary because the limits of each existing home site is unknown. Proposed sites have their size indicated on the Site Plan received June 5, 2017.
- (9) Waiver Part H is necessary because the front yard in 87 of 93 existing home sites and 1 of 21 proposed home sites is less than the minimum required 15 feet.
- (10) Waiver Part I is necessary because all but 18 of 93 existing home sites measure less than 20 feet between the entrance side of the manufactured home and the home site boundary.
- (11) Waiver Part J is necessary because the rear and/or side yards in 88 of 93 existing home sites is less than the minimum required 10 feet.
- (12) Waiver Part K is necessary because 53 out of 93 existing home sites has an estimated square footage of less than the minimum required 3,200 square feet.
- (13) Waiver Part L is necessary because none of the existing home sites have an outdoor paved living space of at least 160 square feet.
- (14) Waiver Part M is necessary because 16 of 93 existing home sites do not have the minimum required two improved off-street parking spaces.
- (15) Waiver Part N is necessary because the existing Fred Lane is only 18 feet wide in lieu of the minimum required 24 feet wide.

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- (16) Waiver Part O is necessary because the existing street system in the manufactured home park does not meet all relevant provisions required in the *Subdivision Ordinance*.
 - (17) Waiver Part P is necessary because electrical service to street lighting is above ground rather than underground.
 - (18) Waiver Part Q is necessary because it is not clear if the electrical distribution system serving the existing home sites complies with the National Electric Code.
 - (19) Waiver Part R is necessary because the existing manufactured home park Management Office is located on a separate but adjacent lot that is within the B-2 Zoning District rather than the R-5 Zoning District.
 - (20) Other than as indicated in waiver Parts B and H, each site in the proposed expansion will comply with all setback, yard, and other requirements as established in Section 6.2.2.
- C. Regarding compliance with the *Stormwater Management and Erosion Control Ordinance*: A Storm Water Drainage Plan, Storm Water Pollution Prevention Plan, Erosion and Sediment Control Plan, and related permits have been filed with the appropriate agencies. An independent consultant determined that the Storm Water Drainage Plan would meet the drainage needs of the area when the manufactured home park expansion is complete.
- D. Regarding the *Special Flood Hazard Areas Ordinance*, no portion of the subject property is located within the mapped floodplain.
- E. Regarding the *Subdivision Regulations*, the subject property is located in the City of Urbana subdivision jurisdiction and the subject property conforms to City of Urbana subdivision regulations.
- F. Regarding the requirement that the Special Use preserve the essential character of the R-5 Manufactured Home Park Zoning District:
- (1) Manufactured homes in Manufactured Home Parks are acceptable and permitted uses in the R-5 District.
 - (2) The visual character of the subject property will not change.
 - (3) The proposed expansion is unlikely to create any significant traffic impacts but no Traffic Impact Assessment has been made.
- G. Regarding the *Illinois Mobile Home Park Act (210 ILCS 115)*:
- (1) In many cases, the Champaign County Zoning Ordinance is more stringent than the *Illinois Mobile Home Park Act*, and the more stringent code takes precedence.

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GENERALLY REGARDING WHETHER THE SPECIAL USE IS IN HARMONY WITH THE GENERAL PURPOSE AND INTENT OF THE ORDINANCE

10. Regarding the *Zoning Ordinance* requirement that the proposed Special Use is in harmony with the general intent and purpose of the Ordinance:
- A. Subsection 5.1.8 of the Zoning Ordinance states the general intent of the R-5 Manufactured Home Park and states as follows (capitalized words are defined in the Ordinance):
- (1) The R-5, MANUFACTURED HOME Park DISTRICT is intended to accommodate MANUFACTURED HOME PARKS and their associated USES in a medium density housing environment.
 - (2) The types of uses authorized in the R-5 District are in fact the types of uses that have been determined to be acceptable in the R-5 District. Uses authorized by Special Use Permit are acceptable uses in the district provided that they are determined by the ZBA to meet the criteria for Special Use Permits established in paragraph 9.1.11 B. of the Ordinance.
- B. Regarding whether the proposed Special Use Permit is in harmony with the general purpose of the Zoning Ordinance:
- (1) Paragraph 2 .0 (a) of the Ordinance states that one purpose of the Ordinance is securing adequate light, pure air, and safety from fire and other dangers.

The setback waiver seeks to utilize the minimum standard adopted by the State of Illinois for Manufactured Home Parks. The State's regulations refer to the Office of the State Fire Marshal for fire safety in mobile home parks, as does the *Champaign County Zoning Ordinance*. Section 21 of *Illinois Mobile Home Park Act (210 ILCS 115)* states "the Department (Illinois Department of Public Health) shall enforce the provisions of this Act and the rules and regulations adopted pursuant thereto affecting health, sanitation, water supply, sewage, garbage, fire safety, and waste disposal, and the Department shall inspect, at least once each year, each mobile home park and all the accommodations and facilities therewith."

- * (2) Paragraph 2.0 (b) of the Ordinance states that one purpose of the Ordinance is conserving the value of land, BUILDINGS, and STRUCTURES throughout the COUNTY. In regards to the value of nearby properties:
 - *a. Provided that the special conditions of approval sufficiently mitigate or minimize any incompatibilities between the proposed Special Use Permit and adjacent properties, there should be no significant effect on the value of nearby properties.
 - *b. In regards to the value of the subject property, it is not clear if the requested Special Use Permit would have any effect. Regarding the effect on the value of the subject property:
 - *(a) The subject property has been a manufactured home park since 1960; if the rezoning is denied, the existing home sites can continue to be used but no new sites will be permitted.

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- * (3) Paragraph 2.0 (c) of the Ordinance states that one purpose of the Ordinance is lessening and avoiding congestion in the public STREETS. In regards to congestion in the public STREETS:
- a. Probable traffic impacts are reviewed under Item 8.B.
 - *b. Staff believes that area roads would still function at an acceptable level, although no formal Traffic Impact Analysis has been done.
- * (4) Paragraph 2.0 (d) of the Ordinance states that one purpose of the Ordinance is lessening and avoiding the hazards to persons and damage to PROPERTY resulting from the accumulation of runoff from storm or flood waters.
- A Storm Water Drainage Plan, Storm Water Pollution Prevention Plan, Erosion and Sediment Control Plan, and related permits have been filed with the appropriate agencies. An independent consultant determined that the Storm Water Drainage Plan will meet the drainage needs of the area when the manufactured home park expansion is complete.
- * (5) Paragraph 2.0 (e) of the Ordinance states that one purpose of the Ordinance is promoting the public health, safety, comfort, morals, and general welfare.
- a. In regards to public safety, this purpose is similar to the purpose established in paragraph 2.0 (a) and is in harmony to the same degree.
 - b. In regards to public comfort and general welfare, this purpose is similar to the purpose of conserving property values established in paragraph 2.0 (b) and is in harmony to the same degree.
- (6) Paragraph 2.0 (f) states that one purpose of the Ordinance is regulating and limiting the height and bulk of BUILDINGS and STRUCTURES hereafter to be erected; and paragraph 2.0 (g) states that one purpose is establishing, regulating, and limiting the BUILDING or SETBACK lines on or along any STREET, trafficway, drive or parkway; and paragraph 2.0 (h) states that one purpose is regulating and limiting the intensity of the USE of LOT AREAS, and regulating and determining the area of OPEN SPACES within and surrounding BUILDINGS and STRUCTURES.
- a. These three purposes are directly related to the limits on building height and building coverage and the minimum setback and yard requirements in the Ordinance.
 - b. The existing home sites conform to the less stringent *Illinois Mobile Home Park Act (210 ILCS 115)*, which has similar intent to the *Champaign County Zoning Ordinance* regarding setbacks.
 - c. The setback and density requirements for Manufactured Home Parks have been part of the Zoning Ordinance since its adoption on October 10, 1973.
- * (7) Paragraph 2.0 (i) of the Ordinance states that one purpose of the Ordinance is classifying, regulating, and restricting the location of trades and industries and the location of BUILDINGS, STRUCTURES, and land designed for specified

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industrial, residential, and other land USES; and paragraph 2.0 (j.) states that one purpose is dividing the entire COUNTY into DISTRICTS of such number, shape, area, and such different classes according to the USE of land, BUILDINGS, and STRUCTURES, intensity of the USE of LOT AREA, area of OPEN SPACES, and other classification as may be deemed best suited to carry out the purpose of the ordinance; and paragraph 2.0 (k) states that one purpose is fixing regulations and standards to which BUILDINGS, STRUCTURES, or USES therein shall conform; and paragraph 2.0 (l) states that one purpose is prohibiting USES, BUILDINGS, OR STRUCTURES incompatible with the character of such DISTRICT.

Harmony with these four purposes requires that the special conditions of approval sufficiently mitigate or minimize any incompatibilities between the proposed Special Use Permit and adjacent uses, and that the special conditions adequately mitigate any problematic conditions.

- * (8) Paragraph 2.0 (m) of the Ordinance states that one purpose of the Ordinance is preventing additions to and alteration or remodeling of existing BUILDINGS, STRUCTURES, or USES in such a way as to avoid the restrictions and limitations lawfully imposed under this ordinance.

The Petitioners seek to bring the existing manufactured home park into compliance by applying for the rezoning and a Special Use Permit. They also seek waivers in order to bring the property into full compliance.

- * (9) Paragraph 2.0 (n) of the Ordinance states that one purpose of the Ordinance is protecting the most productive AGRICULTURAL lands from haphazard and unplanned intrusions of urban USES.
- a. The proposed Special Use in related Case 870-S-17 meets the definition of “urban land use” as defined in the Appendix to Volume 2 of the Champaign County Land Resource Management Plan.
 - b. The ZBA has recommended that the proposed rezoning will **NOT IMPEDE** Goal 4 Agriculture of the Champaign County Land Resource Management Plan.
 - c. The subject property has been a manufactured home park since the 1960s. No agricultural land will be taken out of production.

- * (10) Paragraph 2.0 (o) of the Ordinance states that one purpose of the Ordinance is protecting natural features such as forested areas and watercourses.

The subject property does not contain any natural features.

- * (11) Paragraph 2.0 (p) of the Ordinance states that one purpose of the Ordinance is encouraging the compact development of urban areas to minimize the cost of development of public utilities and public transportation facilities.

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- a. The proposed Special Use in related Case 870-S-17 meets the definition of either “urban development” or “urban land use” as defined in the Appendix to Volume 2 of the Champaign County Land Resource Management Plan.
 - b. The proposed development will not require investment in additional public utilities other than the developer connecting to existing utility and transportation infrastructure.
- *(12) Paragraph 2.0 (q) of the Ordinance states that one purpose of the Ordinance is encouraging the preservation of AGRICULTURAL belts surrounding urban areas, to retain the AGRICULTURAL nature of the COUNTY, and the individual character of existing communities.
- a. The property is residential, located in a residential area.
 - b. The proposed use will not take any agricultural land out of production.
 - c. The proposed use will maintain the character of the existing community.
- *(13) Paragraph 2.0 (r) of the Ordinance states that one purpose of the zoning regulations and standards that have been adopted and established is to provide for the safe and efficient development of renewable energy sources in those parts of the COUNTY that are most suited to their development.

The proposed rezoning and proposed Special Use will not hinder the development of renewable energy sources.

GENERALLY REGARDING WHETHER THE SPECIAL USE IS AN EXISTING NONCONFORMING USE

11. Regarding the *Zoning Ordinance* requirement that in the case of an existing NONCONFORMING USE the granting of the Special Use Permit will make the use more compatible with its surroundings:
- A. The Petitioner has testified on the application: **“The currently developed portion of the total +/- 14.16 acre property is an existing manufactured home park. The proposed +/- 3.66 expansion will be a special use under county zoning. The currently developed portion of the site is a pre-existing use.”**
 - B. The existing use on the property is a non-conforming use.

RELATED TO THE WAIVERS, GENERALLY REGARDING SPECIAL CONDITIONS THAT MAY BE PRESENT

12. Generally regarding the *Zoning Ordinance* requirement of a finding that special conditions and circumstances exist which are peculiar to the land or structure involved which are not applicable to other similarly situated land or structures elsewhere in the same district:
- A. Regarding Part A of the proposed waivers, for a Site Plan that does not include the number, location, and size of all Manufactured Home Sites:
 - (1) No site plan showing the size of the existing home sites has been found through staff research or inquiries to other agencies such as Public Health.
 - (2) Staff created approximate site boundaries in order to estimate yards and setbacks.

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- B. Regarding Part B of the proposed waivers, for a setback of 0 feet between a manufactured home stand and a manufactured home park exterior boundary that faces a state or US highway in lieu of 45 feet:
- (1) All other residential districts in the Champaign County *Zoning Ordinance* require no more than 35 feet between a residence and a property line, per Section 4.3.2.
- C. Regarding Part C of the proposed waivers, for 9 Manufactured Home Sites for each gross acre of land in lieu of the maximum allowed 8 Manufactured Home Sites for each gross acre of land:
- (1) The 93 existing manufactured home sites on the 13.37 acres property calculate to 6.96 home sites per gross acre of land, below the maximum 8 allowed.
 - (2) The 21 proposed expansion home sites will increase the density to 8.52 sites per gross acre, which exceeds the maximum allowed.
- D. Regarding Part D of the proposed waivers, for a setback of 0 feet between a manufactured home stand and a manufactured home park exterior boundary that faces a township road or minor street in lieu of the minimum required 25 feet:
- (1) The original homes placed on existing home sites prior to 1973 were smaller and achieved the required 5 feet setback between the home stand and the manufactured home park exterior boundary established in *Illinois Mobile Home Park Act (210 ILCS 115)*.
 - (2) Larger homes have been placed on the property since then that have reduced the space between the home stand and the exterior boundary.
- E. Regarding Part E of the proposed waivers, for a minimum rear yard of 0 feet in lieu of the minimum required 15 feet:
- (1) The original homes placed on existing home sites prior to 1973 were smaller and achieved the required 5 feet setback between the home stand and the manufactured home park exterior boundary established in *Illinois Mobile Home Park Act (210 ILCS 115)*.
 - (2) Larger homes have been placed on the property since then that have reduced the space between the home stand and the exterior boundary.
- F. Regarding Part F of the proposed waivers, for a Manufactured Home Park with 3 percent of the gross site area in lieu of the minimum required 8 percent and parcels of recreation space that are at least 3,985 square feet in lieu of the minimum required 6,000 square feet:
- (1) There was no mention of required recreational area in the *Illinois Mobile Home Park Act (210 ILCS 115)*.
 - (2) The petitioners have proposed two new recreational areas as part of the expansion, which total 20,268 square feet (.47 acre), or 3.5% of the entire 13.77 acre manufactured home park. The proposed recreational areas total 12.7% of the 3.66 acre proposed expansion area.

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- G. Regarding Part G of the proposed waivers, for a Site Plan that does not include the limits of each Manufactured Home Site:
- (1) No site plan showing the limits of the existing home sites has been found through staff research or inquiries to other agencies such as Public Health.
 - (2) Staff created approximate home site limits in order to estimate yards and setbacks.
- H. Regarding Part H of the proposed waivers, for a minimum setback (yard) of at least 2 feet in lieu of 15 feet between the manufactured home and the manufactured home site boundary adjacent to private accessways:
- (1) Homes placed prior to 1973 were only required to have 5 feet of space at the ends of a manufactured home, per the *Illinois Mobile Home Park Act* (210 ILCS 115/9.3).
 - (2) Larger homes have replaced the smaller homes that were on the property prior to 1973, which reduced the setback on existing home sites to as little as 2 feet.
 - (3) Proposed home site 114 is limited on two sides by the existing adjacent private accessway, which limits the west yard to 10 feet.
- I. Regarding Part I of the proposed waivers, for a minimum setback (yard) of 8 feet in lieu of 20 feet between the entrance side of the manufactured home and the manufactured home site boundary:
- (1) Homes placed prior to 1973 were only required to have “open space of at least 10 feet adjacent to the sides of every mobile home and at least 5 feet adjacent to the ends of every mobile home”, per the *Illinois Mobile Home Park Act* (210 ILCS 115/9.3).
- J. Regarding Part J of the proposed waivers, for a minimum setback (rear and side yards) of 0 feet in lieu of the minimum required 10 feet:
- (1) Homes placed prior to 1973 were only required to have “open space of at least 10 feet adjacent to the sides of every mobile home and at least 5 feet adjacent to the ends of every mobile home”, per the *Illinois Mobile Home Park Act* (210 ILCS 115/9.3).
 - (2) Larger homes have replaced the smaller homes that were on the property prior to 1973, which reduced the yards on existing home sites.
 - (3) Regarding side yard requirements, in the December 10, 2015, approved minutes for Case 818-S-15 for the Woods Edge MHP adjacent to Loral Park, Mr. Hall stated, “testimony is that they (Illinois Department of Public Health) have required no more than 5 feet, with 10 feet between buildings from day one. He added that we have had testimony that in our own Zoning Ordinance, in this same area, we would require no more than 5 feet separation if these were private homes in the R-3 District, and those homes would not meet any standard. He stated that these homes (the manufactured homes) are absolutely built to a standard and inspected.”
 - a. A special condition was added to Case 818-S-15 that stated, “There shall be a minimum separation distance of 10 feet between residential buildings. The special condition stated above is required to ensure compliance with IDPH standards.”

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- b. Per Case 818-S-15 Findings of Fact approved on December 10, 2015, the ZBA approved the waiver for side yards because it is in compliance with IDPH regulations and it is comparable to the standards that apply in the R-3 and R-4 zoning districts.
- K. Regarding Part K of the proposed waivers, for a minimum manufactured home site of 1,600 square feet in area in lieu of the minimum required 3,200 square feet:
- (1) Section 9.3 of the *Illinois Mobile Home Park Act (210 ILCS 115)* states, “Each site on which a mobile home is accommodated shall have a minimum area of 2,500 square feet, provided that sites existing in parks or approved by the Department for construction prior to August 21, 1967, shall contain an area of not less than 1,000 square feet, and sites constructed between August 21, 1967 and the effective date of this amendatory Act of 1987 shall contain an area of not less than 2,100 feet.”
 - (2) No information was found showing the location of the first 45 home sites or how they correlate to the current home site numbering system.
 - (3) The 1970 permit application received November 10, 2016, for construction of 32 home sites stated that the area of the smallest trailer coach space was 2,625 square feet.
 - a. No information was found showing the location of these 32 home sites or how they correlate to the current home site numbering system.
 - (4) Proposed expansion sites 94 through 114 must meet the more stringent *Champaign County Zoning Ordinance* requirement of 3,200 square feet.
- L. Regarding Part L of the proposed waivers, for no outdoor paved living space in lieu of an outdoor living space of at least 160 square feet with a minimum dimension of 8 feet:
- (1) There was no mention of required paved outdoor space in the *Illinois Mobile Home Park Act (210 ILCS 115)*.
- M. Regarding Part M of the proposed waivers, for no improved off-street parking spaces for each existing manufactured home site in lieu of the minimum required two improved off-street parking spaces:
- (1) The Illinois Department of Public Health *Manufactured Home Community Code (860 ILCS 220)* states, “at least two parking spaces shall be provided for each site constructed after July 1, 1998. At least one space shall be available for all other sites. Parking spaces on streets must be a minimum of 18 feet in length”.
 - (2) All existing home sites but 2 (sites 47 and 64) were constructed prior to adoption of the Zoning Ordinance on October 10, 1973. Sites 47 and 64 each have 2 off-street parking spaces.
 - (3) Staff analysis indicates that there is sufficient existing off-street and on-street space to provide 2 parking spaces for all but 16 home sites.
 - a. The on-street spaces included in the analysis are outside the 24 feet required unobstructed travel path; in some locations it is difficult to discern on-street versus off-street parking.

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- b. Staff allocated all available parking spaces to determine which home sites are at least 200 feet from available on or off street parking, and those are the 16 home sites listed in the waiver.
- N. Regarding Part N of the proposed waivers, for a minimum pavement width of 18 feet for existing private accessways in lieu of the minimum required 24 feet for minor streets:
- (1) Fred Lane is the only existing street with a width less than the required minimum.
 - (2) All existing streets in the Manufactured Home Park were constructed prior to adoption of the Zoning Ordinance on October 10, 1973.
 - (3) There was no mention of required street width in the *Illinois Mobile Home Park Act (210 ILCS 115)*.
- O. Regarding Part O of the proposed waivers, that the provisions of the Subdivision Ordinance shall apply to existing private accessways:
- (1) All streets in the Manufactured Home Park were constructed prior to adoption of the Zoning Ordinance on October 10, 1973. The Subdivision Ordinance was adopted on May 17, 1977.
 - (2) The proposed extension of private accessways must comply with current regulations.
- P. Regarding Part P of the proposed waivers, for above ground street lighting:
- (1) No street lighting information has been found regarding the existing system.
 - (2) The specifications and functionality of the existing street light system are unknown.
 - (3) The Illinois Department of Public Health *Manufactured Home Community Code (860 ILCS 220)* has street lighting requirements for communities constructed after July 1, 1998.
- Q. Regarding Part Q of the proposed waivers, for above ground electrical service:
- (1) No information was provided regarding the existing electrical system and whether it was installed in conformance to the National Electric Code or equivalent at the time.
 - (2) The proposed expansion must comply with the Illinois Department of Public Health *Manufactured Home Community Code (860 ILCS 220)*, which requires conformance to the National Electric Code.
- R. Regarding Part R of the proposed waivers, for an off-site Management Office:
- (1) The existing manufactured home park Management Office is located on a separate but adjacent lot.
 - (2) There is no regulation in the *Illinois Mobile Home Park Act (210 ILCS 115)* or in the Illinois Department of Public Health *Manufactured Home Community Code (860 ILCS 220)* stating that the park office must be located on-site.

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**RELATED TO THE WAIVERS, GENERALLY REGARDING ANY PRACTICAL DIFFICULTIES OR HARDSHIPS
RELATED TO CARRYING OUT THE STRICT LETTER OF THE ORDINANCE**

13. Generally regarding the Zoning Ordinance requirement of a finding that practical difficulties or hardships related to carrying out the strict letter of the regulations sought to be varied prevent reasonable and otherwise permitted use of the land or structures or construction on the lot:
- A. Without Part A of the proposed waivers, for a Site Plan that does not include the number, location, and size of all Manufactured Home Sites: the petitioners are required to provide this information to the Illinois Department of Public Health as part of their application to alter the manufactured home park; their application to IDPH is contingent upon zoning approval and the petitioners do not have all necessary information at this time.
 - B. Without Part B of the proposed waivers, for a setback of 0 feet between a manufactured home stand and a manufactured home park exterior boundary that faces a state or US highway or a major street in lieu of the minimum required 45 feet: the petitioners would have to reconfigure and remove home sites along the north side.
 - C. Without Part C of the proposed waivers, for 9 Manufactured Home Sites for each gross acre of land in lieu of the maximum allowed 8 Manufactured Home Sites for each gross acre of land: The petitioners would be limited to 13 proposed sites rather than 21 home sites.
 - D. Without Part D of the proposed waivers, for a setback of 0 feet between a manufactured home site that faces a public street and the manufactured home park exterior boundary in lieu of the minimum required 25 feet: home sites 88 through 93 would have to be reconfigured and the petitioners would have to remove some of those sites.
 - E. Without Part E of the proposed waivers, for a minimum rear yard of 0 feet in lieu of the minimum required 15 feet: 20 existing homes would have to be replaced with shorter homes or the sites would have to be reconfigured, which would force the petitioners to remove some of those sites.
 - F. Without Part F of the proposed waivers, for less than 8% gross area set aside for recreation space, the petitioners would have to provide approximately 1 acre of recreation space (approximately 25,700 additional square feet). This would be equivalent to about 8 manufactured home sites measuring 3,200 square feet each.
 - G. Without Part G of the proposed waivers, for a Site Plan that does not include the limits of each Manufactured Home Site: The petitioners are required to provide this information to the Illinois Department of Public Health as part of their application to alter the manufactured home park; their application to IDPH is contingent upon zoning approval and the petitioners do not have all necessary information at this time.
 - H. Without Part H of the proposed waivers, a minimum setback (yard) of at least 2 feet in lieu of 15 feet between the manufactured home and the manufactured home site boundary adjacent to private accessways, the petitioners would need to install smaller manufactured homes, or reconfigure most of the existing home sites, as well as proposed home site 114.

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- I. Without Part I of the proposed waivers, for a minimum setback (yard) of 8 feet in lieu of 20 feet between the entrance side of the manufactured home and the manufactured home site boundary: The petitioners would have to remove enough home sites to meet this requirement, which could make the expansion and improvements to the park financially infeasible.
- J. Without Part J of the proposed waivers, for a minimum setback (rear and side yards) of 0 feet in lieu of the minimum required 10 feet: The petitioners would have to remove enough sites and homes to meet this requirement, which could make the expansion and improvements to the park financially infeasible.
- K. Without Part K of the proposed waivers, for a minimum manufactured home site of 1,600 square feet in area in lieu of the minimum required 3,200 square feet: The petitioners would have to remove enough sites and homes, which could make the expansion and improvements to the park financially infeasible.
- L. Without Part L of the proposed waivers, for home sites without a 160 square feet paved outdoor space, most existing home sites would have to be reconfigured to include this space, and construction of the paved area would disrupt residents and in some cases require removal of other structures on home sites.
- M. Without Part M of the proposed waivers, for no improved off-street parking spaces for each existing manufactured home site, 16 existing home sites would have to be reconfigured to include additional parking, and construction of the paved area would disrupt residents and in some cases require removal of other structures on home sites.
- N. Without Part N of the proposed waivers, for a minimum pavement width of 18 feet for existing private accessways, Fred Lane would have to be widened, which would require reconfiguration or removal of adjacent home sites.
- O. Without Part O of the proposed waivers, with respect to paving materials, curbs and gutters, grading, intersections, offsets, and radii of curvature, for which the provisions of the Subdivision Ordinance shall apply:
 - (1) There would be no change to the existing conditions because no changes are proposed for those streets, which were constructed prior to the adoption of the Zoning Ordinance on October 10, 1973.
 - (2) This waiver does not apply to the proposed expansion.
- P. Without Part P of the proposed waivers, for the electrical service to the existing street lighting system located above ground in lieu of underground, the petitioners would have to invest in underground electrical service to the street lighting, which would be invasive to existing home sites and disruptive to residents.
- Q. Without Part Q of the proposed waivers, for the electrical system for all existing homes, any used homes that will replace existing homes, and for the electrical distribution system to existing homes, to comply with the latest edition of the National Electric Code: The

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petitioners would have to inspect the electrical systems of each home and the overall system in order to ensure compliance.

- R. Without Part R of the proposed waivers, for a Manufactured Home Park that provides an off-site Management Office in lieu of an on-site Management Office: The petitioners would have to provide an office on site, or they would have rezone the existing office lot and eliminate the unpermitted use (thrift store).

RELATED TO THE WAIVERS, GENERALLY PERTAINING TO WHETHER OR NOT THE PRACTICAL DIFFICULTIES OR HARDSHIPS RESULT FROM THE ACTIONS OF THE APPLICANT

14. Generally regarding the Zoning Ordinance requirement for a finding that the special conditions, circumstances, hardships, or practical difficulties do not result from the actions of the Applicant:
- A. The Petitioner testified the following on the variance application, which is also applicable to the proposed waivers for the proposed expansion area: **“No, triangular shape of the portion of the site remaining to be developed is a function of the geometry of the site boundary.”**
- B. The petitioner purchased the property in 2016; with the exception of waiver Parts B and H, all requested waivers are for existing conditions that were created when the park was constructed and expanded in the 1960s and 1970s.

GENERALLY PERTAINING TO WHETHER OR NOT THE WAIVERS ARE IN HARMONY WITH THE GENERAL PURPOSE AND INTENT OF THE ORDINANCE

15. Regarding the *Zoning Ordinance* requirement that the waivers of standard conditions of the Special Use will be in harmony with the general purpose and intent of the ordinance:
- A. Regarding Part A of the proposed waivers, for a Site Plan that does not include the number, location, and size of all Manufactured Home Sites: The requested waiver (variance) is 0% of the minimum required, for a variance of 100%.
- B. Regarding Part B of the proposed waivers, for a setback of 0 feet between a manufactured home stand and a manufactured home park exterior boundary that faces a state or US highway or a major street in lieu of the minimum required 45 feet: The requested waiver (variance) is 0% of the minimum required, for a variance of 100%.
- C. Regarding Part C of the proposed waivers, for 9 Manufactured Home Sites for each gross acre of land in lieu of the maximum allowed 8 Manufactured Home Sites for each gross acre of land: The requested waiver (variance) is 108% of the minimum required, for a variance of 8%.
- D. Regarding Part D of the proposed waivers, for a setback of 0 feet between a manufactured home site that faces a public street and the manufactured home park exterior boundary in lieu of the minimum required 25 feet: The requested waiver (variance) is 0% of the minimum required, for a variance of 100%.
- E. Regarding Part E of the proposed waivers, for a minimum rear yard of 0 feet in lieu of the minimum required 15 feet: The requested waiver (variance) is 0% of the minimum required, for a variance of 100%.

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- F. Regarding Part F of the proposed waivers, for less than 8% gross area set aside for recreation space: The requested waiver (variance) is 44% of the minimum required, for a variance of 56%.
- G. Regarding Part G of the proposed waivers, for a Site Plan that does not include the limits of each Manufactured Home Site: The requested waiver (variance) is 0% of the minimum required, for a variance of 100%.
- H. Regarding Part H of the proposed waivers, for a minimum setback (yard) of 2 feet in lieu of 15 feet between the manufactured home and the manufactured home site boundary adjacent to private accessways: The requested waiver (variance) is 13% of the minimum required, for a variance of 87%.
- I. Regarding Part I of the proposed waivers, for a minimum setback (yard) of 8 feet in lieu of 20 feet between the entrance side of the manufactured home and the manufactured home site boundary: The requested waiver (variance) is 40% of the minimum required, for a variance of 60%.
- J. Regarding Part J of the proposed waivers, for a minimum setback (rear and side yards) of 0 feet in lieu of the minimum required 10 feet: The requested waiver (variance) is 0% of the minimum required, for a variance of 100%.
- K. Regarding Part K of the proposed waivers, for a minimum manufactured home site of 1,600 square feet in area in lieu of the minimum required 3,200 square feet: The requested waiver (variance) is 50% of the minimum required, for a variance of 50%.
- L. Regarding Part L of the proposed waivers, for home sites without a 160 square feet paved outdoor space: The requested waiver (variance) is 0% of the minimum required, for a variance of 100%.
- M. Regarding Part M of the proposed waivers, for no improved off-street parking spaces for each existing manufactured home site: When considered in terms of the number of existing home sites with less than 2 off-street parking spaces (16 of 93), the requested waiver (variance) is 83% of the minimum required, for a variance of 17%.
- N. Regarding Part N of the proposed waivers, for a minimum pavement width of 18 feet for existing private accessways: The requested waiver (variance) is 75% of the minimum required, for a variance of 25%.
- O. Regarding Part O of the proposed waivers, with respect to paving materials, curbs and gutters, grading, intersections, offsets, and radii of curvature, for which the provisions of the Subdivision Ordinance shall apply: The requested waiver (variance) is 0% of the minimum required, for a variance of 100%.
- P. Regarding Part P of the proposed waivers, for the electrical service to the existing street lighting system located above ground in lieu of underground: The requested waiver (variance) is 0% of the minimum required, for a variance of 100%.

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- Q. Regarding Part Q of the proposed waivers, for the electrical system for all existing homes, any used homes that will replace existing homes, and for the electrical distribution system to existing homes, to comply with the latest edition of the National Electric Code: The requested waiver (variance) is 0% of the minimum required, for a variance of 100%.
- R. Regarding Part R of the proposed waivers, for a Manufactured Home Park that provides an off-site Management Office in lieu of an on-site Management Office: The requested waiver (variance) is 0% of the minimum required, for a variance of 100%.
- S. Regarding minimum site plan requirements, the Zoning Ordinance reflects the requirements of the *Illinois Mobile Home Park Act (210 ILCS 115)* and the Illinois Department of Public Health *Manufactured Home Community Code (860 ILCS 220)*.
- T. Regarding minimum setback and yard requirements, the Zoning Ordinance does not clearly state the considerations that underlie the minimum setback requirements and front yard requirements. Presumably, the setback from street centerline and front yard minimum is intended to ensure the following:
- (1) Adequate separation from roads.
 - (2) Allow adequate area for road expansion and right-of-way acquisition.
 - (3) Parking, where applicable.
 - (4) The proposed expansion, including the proposed new road within the manufactured home park, will not impact setbacks and yards.
- U. Regarding minimum street requirements referencing the *Champaign County Subdivision Ordinance*, the Zoning Ordinance does not clearly state the considerations that underlie pavement and other street specifications. Presumably, the street requirements are intended to ensure the following:
- (1) Conformance to state road specifications.
 - (2) Safe infrastructure for all users.
 - (3) Accessibility for persons with disabilities.
 - (4) Access for emergency vehicles.
 - (5) Adequate stormwater drainage.
 - (6) Logical and adequate connectivity to existing public streets.
- V. Regarding minimum electrical system requirements, the Zoning Ordinance does not clearly state the considerations that underlie the electrical system. Presumably, the requirements are intended to ensure the following:
- (1) Conformance to National Electric Code.
 - (2) Consideration of life safety.

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16. Regarding the Zoning Ordinance requirement for a finding that the granting of the waiver (variance) will not be injurious to the neighborhood, or otherwise detrimental to the public health, safety, or welfare:
- A. The Urbana Township Road Commissioner has been notified of this variance and no comments have been received.
 - B. The Edge-Scott Fire Protection District has been notified of this variance and no comments have been received.
 - C. Considerations of public health, safety, and welfare for the proposed special use are discussed under Item 8 and are also applicable to the proposed waivers.

GENERALLY REGARDING PROPOSED SPECIAL CONDITIONS OF APPROVAL

17. Regarding proposed special conditions of approval for Special Use Permit Case 870-S-17:
- A. **Within 30 days of approval of Case 869-AM-17 by the Champaign County Board, the petitioner shall file a miscellaneous document with the Champaign County Recorder of Deeds stating the Stonetown Woodland Acres Manufactured Home Park was authorized subject to special conditions in Case 870-S-17, and the document shall contain all of the special conditions of approval for Case 870-S-17. A copy of the recorded document shall be given to the Zoning Administrator after filing with the Recorder of Deeds.**

The special condition stated above is required to ensure the following:

That any prospective purchaser of the subject property is aware of all of the special conditions of approval.

- B. **The Zoning Administrator shall not authorize a Zoning Compliance Certificate until the petitioners have demonstrated that any new or proposed exterior lighting on the subject property will comply with the lighting requirements of Section 6.1.2.**

The special condition stated above is required to ensure the following:

That any proposed exterior lighting is in compliance with the Zoning Ordinance.

- C. **That the petitioners develop the recreation areas within two years and in accordance with the most recent version of the *Illinois Mobile Home Park Act (210 ILCS 115)* and the *Illinois Department of Public Health Manufactured Home Community Code (860 ILCS 220)*.**

The special condition stated above is required to ensure the following:

That Stonetown Woodland Acres conforms to State of Illinois requirements.

- D. **On-street parking shall be allowed only when there is at least 24 feet in unobstructed pavement width for travel, and shall be clearly marked with signs at each entrance to the development or sufficiently throughout the park and these signs shall be in place**

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before any replacement of homes occurs and shall be verified in all inspections by the Zoning Administrator.

The special condition stated above is required to ensure the following:

That there is always adequate emergency vehicle access.

- E. **Replacement homes shall conform to setback and yard requirements established in Zoning Ordinance Section 6.2.2, unless larger replacement homes occupy more than one of the existing home sites.**

The special condition stated above is required to ensure the following:

That replacement homes do not make the manufactured home park more nonconforming with Zoning Ordinance requirements.

- F. **Any proposed new construction and/ or proposed new use shall be authorized and established as follows:**
- (1) **A Change of Use Permit shall be required for any replacement of existing nonconforming structures. The replacement structure shall be inspected by the Zoning Administrator prior to occupancy and if the replacement structure is in compliance with the approval in Case 870-S-17, then the Zoning Administrator shall authorize occupancy in a Zoning Compliance Certificate. The total fee for a Change of Use Permit for replacement of existing nonconforming structures, including the Zoning Compliance Certificate, shall be \$66 per home site.**
 - (2) **Each new home on proposed sites 94 through 114 shall be established pursuant to a Zoning Use Permit that may include all homes on one combined permit or individual homes on individual permits at a fee of \$33 per each site plus a Zoning Compliance Certificate fee of \$33 per each site.**
 - (3) **Development of the proposed recreation areas shall be authorized either under a Change of Use Permit for a fee of \$65 or may be combined for no fee with any other required Change of Use Permit or Zoning Use Permit.**

The special condition stated above is required to ensure the following:

To clarify the permits that are required to ensure conformance with the Zoning Ordinance.

- G. **The Overall Layout Plan by Farnsworth Group, received June 16, 2017, and the Revised Expansion Permit Drawings for proposed new home sites received June 16, 2017, comprise the official site plan for approval in Case 870-S-17.**

The above special condition is necessary to ensure the following:

That it is clear which version of the Site Plan submitted by the petitioners is the approved Site Plan.

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1. Letter from Michael Friend, Engineering Manager, Farnsworth Group, received January 27, 2017, with attachments:
 - A Application for Map Amendment
 - B Application for Special Use Permit
 - C Application for Variance
 - D Land Disturbance and Zoning Use Permit Application
 - E Expansion County Review Drawings for proposed new home sites dated January 6, 2017
 - F ALTA/NSPS Land Title Survey for existing home sites created by Berns, Clancy and Associates, dated August 26, 2016
 - G EcoCAT online report dated January 24, 2017
 - H Storm Water Pollution Prevention Plan (SWPPP)
 - I IDOT Permit for Drainage Outlet
 - J Erosion and Sediment Control Plan (ESCP)
 - K Storm Water Drainage Plan

2. Email from Michael Friend received November 4, 2016, with attachment:
 - A Typical home site diagram

3. Email from Rick Hafer, Illinois Dept. of Public Health, received November 10, 2016, with attachments:
 - A Construction permit dated May 10, 1960, for 43 home sites in Wilson Trailer Park
 - B Construction permit dated January 5, 1970, for 32 home sites in Wilson Trailer Park

4. Revised Storm Water Drainage Plan received from Farnsworth Group on February 24, 2017

5. Drainage Plan Evaluation from Berns, Clancy and Associates received April 4, 2017

6. Revised Expansion County Review Drawings for proposed new home sites received June 5, 2017

7. Email from Michael Friend received June 16, 2017, with attachments:
 - A Revised Expansion Permit Drawings for proposed new home sites received June 16, 2017, which includes the following pages:
 - C1.0 Cover Sheet
 - C2.0 General Notes and Legends
 - C3.0 Existing Topography and Demolition Plan
 - C4.0 Grading Plan
 - C5.0 Utility Plan/Sanitary and Storm
 - C6.0 Utility Plan/Water, Gas and Electric
 - C6.1 Plan and Profile – Sanitary
 - C7.0 Plan and Profile – Sanitary
 - C7.1 Plan and Profile – Sanitary
 - C7.2 Plan and Profile – Sanitary
 - C7.3 Plan and Profile – Sanitary and Sanitary Details
 - C8.0 Standard Sanitary Sewer Details
 - C8.1 Standard Storm Sewer Details
 - C8.2 Standard Water Main Details

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- C8.3 Standard Water Main Details
 - C8.4 Pavement and Erosion Control Details
 - C8.5 Landscape Details and Notes
- B Copy of Illinois Department of Public Health Permit Site Expansion Application packet received June 16, 2017
8. Email from Michael Friend received June 20, 2017, with attachment:
- A Preliminary response from Illinois Department of Public Health regarding Site Expansion Application
9. Email from Fred and Sharon Gerth received June 21, 2017
10. Preliminary Memorandum dated June 22, 2017, for Cases 869-AM-17 and 870-S-17, with attachments:
- A Full legal advertisement from June 14, 2017 *News Gazette*
- B Case Maps (Location, Land Use, Zoning)
- C Overall Layout Plan by Farnsworth Group, received June 16, 2017
- D Revised Expansion Permit Drawings for proposed new home sites received June 16, 2017
- E ALTA/NSPS Land Title Survey for existing home sites created by Berns, Clancy and Associates, received January 27, 2017
- F EcoCAT online report dated January 24, 2017
- G Storm Water Drainage Plan received January 27, 2017
- H Email from Michael Friend received November 4, 2016, with attachment:
- Typical home site diagram
- I Email from Rick Hafer, Illinois Department of Public Health, received November 10, 2016, with attachments:
- Construction permit dated May 10, 1960, for 43 home sites in Wilson Trailer Park
 - Construction permit dated January 5, 1970, for 32 home sites in Wilson Trailer Park
- J Email from Michael Friend received June 16, 2017, with attachment:
- Copy of Illinois Department of Public Health Permit Site Expansion Application packet received June 16, 2017
- K Email from Fred and Sharon Gerth received June 21, 2017
- L LRMP Land Use Goals, Objectives, and Policies
- M LRMP Appendix of Defined Terms
- N Site Images packet
- O Summary of Evidence, Finding of Fact, and Final Determination for Case 869-AM-17
- P Summary of Evidence, Finding of Fact, and Final Determination for Case 870-S-17

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Page 39 of 53**FINDINGS OF FACT**

From the documents of record and the testimony and exhibits received at the public hearing for zoning Case **870-S-17** held on **June 29, 2017**, the Zoning Board of Appeals of Champaign County finds that:

1. The requested Special Use Permit **{IS / IS NOT}** necessary for the public convenience at this location because:
2. The requested Special Use Permit **{SUBJECT TO THE SPECIAL CONDITIONS IMPOSED HEREIN}** is so designed, located, and proposed to be operated so that it **{WILL NOT / WILL}** be injurious to the district in which it shall be located or otherwise detrimental to the public health, safety, and welfare because:
 - a. The street has **{ADEQUATE / INADEQUATE}** traffic capacity and the entrance location has **{ADEQUATE / INADEQUATE}** visibility.
 - b. Emergency services availability is **{ADEQUATE / INADEQUATE} {because*}**:
 - c. The Special Use **{WILL / WILL NOT}** be compatible with adjacent uses **{because*}**:
 - d. Surface and subsurface drainage will be **{ADEQUATE / INADEQUATE} {because*}**:
 - e. Public safety will be **{ADEQUATE / INADEQUATE} {because*}**:
 - f. The provisions for parking will be **{ADEQUATE / INADEQUATE} {because*}**:

(Note the Board may include other relevant considerations as necessary or desirable in each case.)

*The Board may include additional justification if desired, but it is not required.

- 3a. The requested Special Use Permit **{SUBJECT TO THE SPECIAL CONDITIONS IMPOSED HEREIN} {DOES / DOES NOT}** conform to the applicable regulations and standards of the DISTRICT in which it is located.
- 3b. The requested Special Use Permit **{SUBJECT TO THE SPECIAL CONDITIONS IMPOSED HEREIN} {DOES / DOES NOT}** preserve the essential character of the DISTRICT in which it is located because:
 - a. The Special Use will be designed to **{CONFORM / NOT CONFORM}** to all relevant County ordinances and codes.
 - b. The Special Use **{WILL / WILL NOT}** be compatible with adjacent uses.
 - c. Public safety will be **{ADEQUATE / INADEQUATE}**.
4. The requested Special Use Permit **{SUBJECT TO THE SPECIAL CONDITIONS IMPOSED HEREIN} {IS / IS NOT}** in harmony with the general purpose and intent of the Ordinance because:
 - a. The Special Use is authorized in the District.
 - b. The requested Special Use Permit **{IS/ IS NOT}** necessary for the public convenience at this location.
 - c. The requested Special Use Permit **{SUBJECT TO THE SPECIAL CONDITIONS IMPOSED HEREIN}** is so designed, located, and proposed to be operated so that it **{WILL / WILL NOT}** be injurious to the district in which it shall be located or otherwise detrimental to the public health, safety, and welfare.

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- d. The requested Special Use Permit ***{SUBJECT TO THE SPECIAL CONDITIONS IMPOSED HEREIN} {DOES / DOES NOT}*** preserve the essential character of the DISTRICT in which it is located.
5. The requested Special Use ***IS*** an existing nonconforming use.
6. ***SUBJECT TO THE FOLLOWING WAIVERS OF STANDARD CONDITIONS:***

Per Section 7.15 of the Champaign County ZBA Bylaws, “waivers may be approved individually or *en masse* by the affirmative vote of a majority of those members voting on the issue, and shall be incorporated into the Findings of Fact with the reason for granting each waiver described”.

- A. Regarding Part A of the proposed waivers, for a Site Plan that does not include the number, location, and size of all Manufactured Home Sites:
- (1) The waiver ***{IS/ IS NOT}*** in accordance with the general purpose and intent of the Zoning Ordinance and ***{WILL/ WILL NOT}*** be injurious to the neighborhood or to the public health, safety, and welfare because:
 - (2) Special conditions and circumstances ***{DO / DO NOT}*** exist which are peculiar to the land or structure involved, which are not applicable to other similarly situated land and structures elsewhere in the same district because:
 - (3) Practical difficulties or hardships created by carrying out the strict letter of the regulations sought to be varied ***{WILL / WILL NOT}*** prevent reasonable or otherwise permitted use of the land or structure or construction because:
 - (4) The special conditions, circumstances, hardships, or practical difficulties ***{DO / DO NOT}*** result from actions of the applicant because:
 - (5) The requested waiver ***{SUBJECT TO THE PROPOSED SPECIAL CONDITION} {IS / IS NOT}*** the minimum variation that will make possible the reasonable use of the land/structure because:
- B. Regarding Part B of the proposed waivers, for a setback of 0 feet between a manufactured home stand and a manufactured home park exterior boundary that faces a state or US highway in lieu of 45 feet:
- (1) The waiver ***{IS/ IS NOT}*** in accordance with the general purpose and intent of the Zoning Ordinance and ***{WILL/ WILL NOT}*** be injurious to the neighborhood or to the public health, safety, and welfare because:
 - (2) Special conditions and circumstances ***{DO / DO NOT}*** exist which are peculiar to the land or structure involved, which are not applicable to other similarly situated land and structures elsewhere in the same district because:
 - (3) Practical difficulties or hardships created by carrying out the strict letter of the regulations sought to be varied ***{WILL / WILL NOT}*** prevent reasonable or otherwise permitted use of the land or structure or construction because:

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- (4) The special conditions, circumstances, hardships, or practical difficulties **{DO / DO NOT}** result from actions of the applicant because:
- (5) The requested waiver **{SUBJECT TO THE PROPOSED SPECIAL CONDITION} {IS / IS NOT}** the minimum variation that will make possible the reasonable use of the land/structure because:
- C. Regarding Part C of the proposed waivers, for 9 Manufactured Home Sites for each gross acre of land in lieu of the maximum allowed 8 Manufactured Home Sites for each gross acre of land:
- (1) The waiver **{IS/ IS NOT}** in accordance with the general purpose and intent of the Zoning Ordinance and **{WILL/ WILL NOT}** be injurious to the neighborhood or to the public health, safety, and welfare because:
- (2) Special conditions and circumstances **{DO / DO NOT}** exist which are peculiar to the land or structure involved, which are not applicable to other similarly situated land and structures elsewhere in the same district because:
- (3) Practical difficulties or hardships created by carrying out the strict letter of the regulations sought to be varied **{WILL / WILL NOT}** prevent reasonable or otherwise permitted use of the land or structure or construction because:
- (4) The special conditions, circumstances, hardships, or practical difficulties **{DO / DO NOT}** result from actions of the applicant because:
- (5) The requested waiver **{SUBJECT TO THE PROPOSED SPECIAL CONDITION} {IS / IS NOT}** the minimum variation that will make possible the reasonable use of the land/structure because:
- D. Regarding Part D of the proposed waivers, for a setback of 0 feet between a manufactured home stand and a manufactured home park exterior boundary that faces a township road or minor street in lieu of the minimum required 25 feet:
- (1) The waiver **{IS/ IS NOT}** in accordance with the general purpose and intent of the Zoning Ordinance and **{WILL/ WILL NOT}** be injurious to the neighborhood or to the public health, safety, and welfare because:
- (2) Special conditions and circumstances **{DO / DO NOT}** exist which are peculiar to the land or structure involved, which are not applicable to other similarly situated land and structures elsewhere in the same district because:
- (3) Practical difficulties or hardships created by carrying out the strict letter of the regulations sought to be varied **{WILL / WILL NOT}** prevent reasonable or otherwise permitted use of the land or structure or construction because:
- (4) The special conditions, circumstances, hardships, or practical difficulties **{DO / DO NOT}** result from actions of the applicant because:

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- (5) The requested waiver **{SUBJECT TO THE PROPOSED SPECIAL CONDITION} {IS / IS NOT}** the minimum variation that will make possible the reasonable use of the land/structure because:
- E. Regarding Part E of the proposed waivers, for a minimum rear yard of 0 feet in lieu of the minimum required 15 feet:
- (1) The waiver **{IS/ IS NOT}** in accordance with the general purpose and intent of the Zoning Ordinance and **{WILL/ WILL NOT}** be injurious to the neighborhood or to the public health, safety, and welfare because:
 - (2) Special conditions and circumstances **{DO / DO NOT}** exist which are peculiar to the land or structure involved, which are not applicable to other similarly situated land and structures elsewhere in the same district because:
 - (3) Practical difficulties or hardships created by carrying out the strict letter of the regulations sought to be varied **{WILL / WILL NOT}** prevent reasonable or otherwise permitted use of the land or structure or construction because:
 - (4) The special conditions, circumstances, hardships, or practical difficulties **{DO / DO NOT}** result from actions of the applicant because:
 - (5) The requested waiver **{SUBJECT TO THE PROPOSED SPECIAL CONDITION} {IS / IS NOT}** the minimum variation that will make possible the reasonable use of the land/structure because:
- F. Regarding Part F of the proposed waivers, for a Manufactured Home Park with 3 percent of the gross site area in lieu of the minimum required 8 percent and parcels of recreation space that are at least 3,985 square feet in lieu of the minimum required 6,000 square feet:
- (1) The waiver **{IS/ IS NOT}** in accordance with the general purpose and intent of the Zoning Ordinance and **{WILL/ WILL NOT}** be injurious to the neighborhood or to the public health, safety, and welfare because:
 - (2) Special conditions and circumstances **{DO / DO NOT}** exist which are peculiar to the land or structure involved, which are not applicable to other similarly situated land and structures elsewhere in the same district because:
 - (3) Practical difficulties or hardships created by carrying out the strict letter of the regulations sought to be varied **{WILL / WILL NOT}** prevent reasonable or otherwise permitted use of the land or structure or construction because:
 - (4) The special conditions, circumstances, hardships, or practical difficulties **{DO / DO NOT}** result from actions of the applicant because:
 - (5) The requested waiver **{SUBJECT TO THE PROPOSED SPECIAL CONDITION} {IS / IS NOT}** the minimum variation that will make possible the reasonable use of the land/structure because:

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- G. Regarding Part G of the proposed waivers, for a Site Plan that does not include the limits of each Manufactured Home Site:
- (1) The waiver *{IS/ IS NOT}* in accordance with the general purpose and intent of the Zoning Ordinance and *{WILL/ WILL NOT}* be injurious to the neighborhood or to the public health, safety, and welfare because:
 - (2) Special conditions and circumstances *{DO / DO NOT}* exist which are peculiar to the land or structure involved, which are not applicable to other similarly situated land and structures elsewhere in the same district because:
 - (3) Practical difficulties or hardships created by carrying out the strict letter of the regulations sought to be varied *{WILL / WILL NOT}* prevent reasonable or otherwise permitted use of the land or structure or construction because:
 - (4) The special conditions, circumstances, hardships, or practical difficulties *{DO / DO NOT}* result from actions of the applicant because:
 - (5) The requested waiver *{SUBJECT TO THE PROPOSED SPECIAL CONDITION} {IS / IS NOT}* the minimum variation that will make possible the reasonable use of the land/structure because:
- H. Regarding Part H of the proposed waivers, for a minimum setback (yard) of at least 2 feet in lieu of 15 feet between the manufactured home and the manufactured home site boundary adjacent to private accessways:
- (1) The waiver *{IS/ IS NOT}* in accordance with the general purpose and intent of the Zoning Ordinance and *{WILL/ WILL NOT}* be injurious to the neighborhood or to the public health, safety, and welfare because:
 - (2) Special conditions and circumstances *{DO / DO NOT}* exist which are peculiar to the land or structure involved, which are not applicable to other similarly situated land and structures elsewhere in the same district because:
 - (3) Practical difficulties or hardships created by carrying out the strict letter of the regulations sought to be varied *{WILL / WILL NOT}* prevent reasonable or otherwise permitted use of the land or structure or construction because:
 - (4) The special conditions, circumstances, hardships, or practical difficulties *{DO / DO NOT}* result from actions of the applicant because:
 - (5) The requested waiver *{SUBJECT TO THE PROPOSED SPECIAL CONDITION} {IS / IS NOT}* the minimum variation that will make possible the reasonable use of the land/structure because:
- I. Regarding Part I of the proposed waivers, for a minimum setback (yard) of 8 feet in lieu of 20 feet between the entrance side of the manufactured home and the manufactured home site boundary:

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- (1) The waiver *{IS/ IS NOT}* in accordance with the general purpose and intent of the Zoning Ordinance and *{WILL/ WILL NOT}* be injurious to the neighborhood or to the public health, safety, and welfare because:
 - (2) Special conditions and circumstances *{DO / DO NOT}* exist which are peculiar to the land or structure involved, which are not applicable to other similarly situated land and structures elsewhere in the same district because:
 - (3) Practical difficulties or hardships created by carrying out the strict letter of the regulations sought to be varied *{WILL / WILL NOT}* prevent reasonable or otherwise permitted use of the land or structure or construction because:
 - (4) The special conditions, circumstances, hardships, or practical difficulties *{DO / DO NOT}* result from actions of the applicant because:
 - (5) The requested waiver *{SUBJECT TO THE PROPOSED SPECIAL CONDITION} {IS / IS NOT}* the minimum variation that will make possible the reasonable use of the land/structure because:
- J. Regarding Part J of the proposed waivers, for a minimum setback (rear and side yards) of 0 feet in lieu of the minimum required 10 feet:
- (1) The waiver *{IS/ IS NOT}* in accordance with the general purpose and intent of the Zoning Ordinance and *{WILL/ WILL NOT}* be injurious to the neighborhood or to the public health, safety, and welfare because:
 - (2) Special conditions and circumstances *{DO / DO NOT}* exist which are peculiar to the land or structure involved, which are not applicable to other similarly situated land and structures elsewhere in the same district because:
 - (3) Practical difficulties or hardships created by carrying out the strict letter of the regulations sought to be varied *{WILL / WILL NOT}* prevent reasonable or otherwise permitted use of the land or structure or construction because:
 - (4) The special conditions, circumstances, hardships, or practical difficulties *{DO / DO NOT}* result from actions of the applicant because:
 - (5) The requested waiver *{SUBJECT TO THE PROPOSED SPECIAL CONDITION} {IS / IS NOT}* the minimum variation that will make possible the reasonable use of the land/structure because:
- K. Regarding Part K of the proposed waivers, for a minimum manufactured home site of 1,600 square feet in area in lieu of the minimum required 3,200 square feet:
- (1) The waiver *{IS/ IS NOT}* in accordance with the general purpose and intent of the Zoning Ordinance and *{WILL/ WILL NOT}* be injurious to the neighborhood or to the public health, safety, and welfare because:

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- (2) Special conditions and circumstances **{DO / DO NOT}** exist which are peculiar to the land or structure involved, which are not applicable to other similarly situated land and structures elsewhere in the same district because:
 - (3) Practical difficulties or hardships created by carrying out the strict letter of the regulations sought to be varied **{WILL / WILL NOT}** prevent reasonable or otherwise permitted use of the land or structure or construction because:
 - (4) The special conditions, circumstances, hardships, or practical difficulties **{DO / DO NOT}** result from actions of the applicant because:
 - (5) The requested waiver **{SUBJECT TO THE PROPOSED SPECIAL CONDITION} {IS / IS NOT}** the minimum variation that will make possible the reasonable use of the land/structure because:
- L. Regarding Part L of the proposed waivers, for no outdoor paved living space in lieu of an outdoor living space of at least 160 square feet with a minimum dimension of 8 feet:
- (1) The waiver **{IS/ IS NOT}** in accordance with the general purpose and intent of the Zoning Ordinance and **{WILL/ WILL NOT}** be injurious to the neighborhood or to the public health, safety, and welfare because:
 - (2) Special conditions and circumstances **{DO / DO NOT}** exist which are peculiar to the land or structure involved, which are not applicable to other similarly situated land and structures elsewhere in the same district because:
 - (3) Practical difficulties or hardships created by carrying out the strict letter of the regulations sought to be varied **{WILL / WILL NOT}** prevent reasonable or otherwise permitted use of the land or structure or construction because:
 - (4) The special conditions, circumstances, hardships, or practical difficulties **{DO / DO NOT}** result from actions of the applicant because:
 - (5) The requested waiver **{SUBJECT TO THE PROPOSED SPECIAL CONDITION} {IS / IS NOT}** the minimum variation that will make possible the reasonable use of the land/structure because:
- M. Regarding Part M of the proposed waivers, for no improved off-street parking spaces for each existing manufactured home site in lieu of the minimum required two improved off-street parking spaces:
- (1) The waiver **{IS/ IS NOT}** in accordance with the general purpose and intent of the Zoning Ordinance and **{WILL/ WILL NOT}** be injurious to the neighborhood or to the public health, safety, and welfare because:
 - (2) Special conditions and circumstances **{DO / DO NOT}** exist which are peculiar to the land or structure involved, which are not applicable to other similarly situated land and structures elsewhere in the same district because:

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- (3) Practical difficulties or hardships created by carrying out the strict letter of the regulations sought to be varied **{WILL / WILL NOT}** prevent reasonable or otherwise permitted use of the land or structure or construction because:
 - (4) The special conditions, circumstances, hardships, or practical difficulties **{DO / DO NOT}** result from actions of the applicant because:
 - (5) The requested waiver **{SUBJECT TO THE PROPOSED SPECIAL CONDITION} {IS / IS NOT}** the minimum variation that will make possible the reasonable use of the land/structure because:
- N. Regarding Part N of the proposed waivers, for a minimum pavement width of 18 feet for existing private accessways in lieu of the minimum required 24 feet for minor streets:
- (1) The waiver **{IS / IS NOT}** in accordance with the general purpose and intent of the Zoning Ordinance and **{WILL / WILL NOT}** be injurious to the neighborhood or to the public health, safety, and welfare because:
 - (2) Special conditions and circumstances **{DO / DO NOT}** exist which are peculiar to the land or structure involved, which are not applicable to other similarly situated land and structures elsewhere in the same district because:
 - (3) Practical difficulties or hardships created by carrying out the strict letter of the regulations sought to be varied **{WILL / WILL NOT}** prevent reasonable or otherwise permitted use of the land or structure or construction because:
 - (4) The special conditions, circumstances, hardships, or practical difficulties **{DO / DO NOT}** result from actions of the applicant because:
 - (5) The requested waiver **{SUBJECT TO THE PROPOSED SPECIAL CONDITION} {IS / IS NOT}** the minimum variation that will make possible the reasonable use of the land/structure because:
- O. Regarding Part O of the proposed waivers, that the provisions of the Subdivision Ordinance shall apply to existing private accessways:
- (1) The waiver **{IS / IS NOT}** in accordance with the general purpose and intent of the Zoning Ordinance and **{WILL / WILL NOT}** be injurious to the neighborhood or to the public health, safety, and welfare because:
 - (2) Special conditions and circumstances **{DO / DO NOT}** exist which are peculiar to the land or structure involved, which are not applicable to other similarly situated land and structures elsewhere in the same district because:
 - (3) Practical difficulties or hardships created by carrying out the strict letter of the regulations sought to be varied **{WILL / WILL NOT}** prevent reasonable or otherwise permitted use of the land or structure or construction because:
 - (4) The special conditions, circumstances, hardships, or practical difficulties **{DO / DO NOT}** result from actions of the applicant because:

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- (5) The requested waiver **{SUBJECT TO THE PROPOSED SPECIAL CONDITION} {IS / IS NOT}** the minimum variation that will make possible the reasonable use of the land/structure because:
- P. Regarding Part P of the proposed waivers, for above ground street lighting:
- (1) The waiver **{IS/ IS NOT}** in accordance with the general purpose and intent of the Zoning Ordinance and **{WILL/ WILL NOT}** be injurious to the neighborhood or to the public health, safety, and welfare because:
- (2) Special conditions and circumstances **{DO / DO NOT}** exist which are peculiar to the land or structure involved, which are not applicable to other similarly situated land and structures elsewhere in the same district because:
- (3) Practical difficulties or hardships created by carrying out the strict letter of the regulations sought to be varied **{WILL / WILL NOT}** prevent reasonable or otherwise permitted use of the land or structure or construction because:
- (4) The special conditions, circumstances, hardships, or practical difficulties **{DO / DO NOT}** result from actions of the applicant because:
- (5) The requested waiver **{SUBJECT TO THE PROPOSED SPECIAL CONDITION} {IS / IS NOT}** the minimum variation that will make possible the reasonable use of the land/structure because:
- Q. Regarding Part Q of the proposed waivers, for above ground electrical service:
- (1) The waiver **{IS/ IS NOT}** in accordance with the general purpose and intent of the Zoning Ordinance and **{WILL/ WILL NOT}** be injurious to the neighborhood or to the public health, safety, and welfare because:
- (2) Special conditions and circumstances **{DO / DO NOT}** exist which are peculiar to the land or structure involved, which are not applicable to other similarly situated land and structures elsewhere in the same district because:
- (3) Practical difficulties or hardships created by carrying out the strict letter of the regulations sought to be varied **{WILL / WILL NOT}** prevent reasonable or otherwise permitted use of the land or structure or construction because:
- (4) The special conditions, circumstances, hardships, or practical difficulties **{DO / DO NOT}** result from actions of the applicant because:
- (5) The requested waiver **{SUBJECT TO THE PROPOSED SPECIAL CONDITION} {IS / IS NOT}** the minimum variation that will make possible the reasonable use of the land/structure because:
- R. Regarding Part R of the proposed waivers, for an off-site Management Office:
- (1) The waiver **{IS/ IS NOT}** in accordance with the general purpose and intent of the Zoning Ordinance and **{WILL/ WILL NOT}** be injurious to the neighborhood or to the public health, safety, and welfare because:

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- (2) Special conditions and circumstances *{DO / DO NOT}* exist which are peculiar to the land or structure involved, which are not applicable to other similarly situated land and structures elsewhere in the same district because:
- (3) Practical difficulties or hardships created by carrying out the strict letter of the regulations sought to be varied *{WILL / WILL NOT}* prevent reasonable or otherwise permitted use of the land or structure or construction because:
- (4) The special conditions, circumstances, hardships, or practical difficulties *{DO / DO NOT}* result from actions of the applicant because:
- (5) The requested waiver *{SUBJECT TO THE PROPOSED SPECIAL CONDITION} {IS / IS NOT}* the minimum variation that will make possible the reasonable use of the land/structure because:

7. ***{NO SPECIAL CONDITIONS ARE HEREBY IMPOSED / THE SPECIAL CONDITIONS IMPOSED HEREIN ARE REQUIRED TO ENSURE COMPLIANCE WITH THE CRITERIA FOR SPECIAL USE PERMITS AND FOR THE PARTICULAR PURPOSES DESCRIBED BELOW:***

- A. **Within 30 days of approval of Case 869-AM-17 by the Champaign County Board, the petitioner shall file a miscellaneous document with the Champaign County Recorder of Deeds stating the Stonetown Woodland Acres Manufactured Home Park was authorized subject to special conditions in Case 870-S-17, and the document shall contain all of the special conditions of approval for Case 870-S-17. A copy of the recorded document shall be given to the Zoning Administrator after filing with the Recorder of Deeds.**

The special condition stated above is required to ensure the following:

That any prospective purchaser of the subject property is aware of all of the special conditions of approval.

- B. **The Zoning Administrator shall not authorize a Zoning Compliance Certificate until the petitioners have demonstrated that any new or proposed exterior lighting on the subject property will comply with the lighting requirements of Section 6.1.2.**

The special condition stated above is required to ensure the following:

That any proposed exterior lighting is in compliance with the Zoning Ordinance.

- C. **That the petitioners develop the recreation areas within two years and in accordance with the most recent version of the *Illinois Mobile Home Park Act (210 ILCS 115)* and the Illinois Department of Public Health *Manufactured Home Community Code (860 ILCS 220)*.**

The special condition stated above is required to ensure the following:

That Stonetown Woodland Acres conforms to State of Illinois requirements.

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- D. **On-street parking shall be allowed only when there is at least 24 feet in unobstructed pavement width for travel, and shall be clearly marked with signs at each entrance to the development or sufficiently throughout the park and these signs shall be in place before any replacement of homes occurs and shall be verified in all inspections by the Zoning Administrator.**

The special condition stated above is required to ensure the following:

That there is always adequate emergency vehicle access.

- E. **Replacement homes shall conform to setback and yard requirements established in Zoning Ordinance Section 6.2.2, unless larger replacement homes occupy more than one of the existing home sites.**

The special condition stated above is required to ensure the following:

That replacement homes do not make the manufactured home park more nonconforming with Zoning Ordinance requirements.

- F. **Any proposed new construction and/ or proposed new use shall be authorized and established as follows:**

- (1) **A Change of Use Permit shall be required for any replacement of existing nonconforming structures. The replacement structure shall be inspected by the Zoning Administrator prior to occupancy and if the replacement structure is in compliance with the approval in Case 870-S-17, then the Zoning Administrator shall authorize occupancy in a Zoning Compliance Certificate. The total fee for a Change of Use Permit for replacement of existing nonconforming structures, including the Zoning Compliance Certificate, shall be \$66 per home site.**
- (2) **Each new home on proposed sites 94 through 114 shall be established pursuant to a Zoning Use Permit that may include all homes on one combined permit or individual homes on individual permits at a fee of \$33 per each site plus a Zoning Compliance Certificate fee of \$33 per each site.**
- (3) **Development of the proposed recreation areas shall be authorized either under a Change of Use Permit for a fee of \$65 or may be combined for no fee with any other required Change of Use Permit or Zoning Use Permit.**

The special condition stated above is required to ensure the following:

To clarify the permits that are required to ensure conformance with the Zoning Ordinance.

- G. **The Overall Layout Plan by Farnsworth Group, received June 16, 2017, and the Revised Expansion Permit Drawings for proposed new home sites received June 16, 2017, comprise the official site plan for approval in Case 870-S-17.**

The above special condition is necessary to ensure the following:

That it is clear which version of the Site Plan submitted by the petitioners is the approved Site Plan.

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FINAL DETERMINATION FOR CASE 870-S-17

The Champaign County Zoning Board of Appeals finds that, based upon the application, testimony, and other evidence received in this case, the requirements of Section 9.1.11B. for approval *{HAVE/ HAVE NOT}* been met, and pursuant to the authority granted by Section 9.1.6 B. of the Champaign County Zoning Ordinance, determines that:

The Special Use requested in Case **870-S-17** is hereby *{GRANTED/ GRANTED WITH SPECIAL CONDITIONS / DENIED}* to the applicant, **Stonetown Woodland Acres LLC, including Principals Dax Nolen, Vice President; Roy Lapidus, Manager; and Adam Minnick, Manager, via agent Mike Friend,** to authorize the following:

Authorize the establishment and use of a manufactured home park with 93 existing and an additional 21 proposed manufactured home sites in the R-5 Manufactured Home Park Zoning District, contingent upon the rezoning of the eastern 150 feet of the subject property from R-1 Single Family Residence to R-5 Manufactured Home Park and from B-2 Neighborhood Business to R-5 Manufactured Home Park for the 1.66 acre lot on the west end of the subject property in related case 869-AM-17; and

SUBJECT TO THE FOLLOWING WAIVERS OF STANDARD CONDITIONS FOR MANUFACTURED HOME PARKS:

Part A: Authorize a waiver from Section 6.2.1 C.2., for a Site Plan that does not include the number, location, and size of all Manufactured Home Sites.

Part B: Authorize a waiver for a setback of 0 feet between a manufactured home stand and a manufactured home park exterior boundary that faces a state or US highway or a major street in lieu of the minimum required 45 feet, per Section 6.2.2 C.1.a. for existing home sites 1 through 10, 48, and 49, and proposed home sites 1 through 5.

Part C: Authorize a waiver for 9 Manufactured Home Sites for each gross acre of land in lieu of the maximum allowed 8 Manufactured Home Sites for each gross acre of land, per Section 6.2.2 B.

Part D: Authorize a waiver for a setback of 0 feet between a manufactured home stand and a manufactured home park exterior boundary that faces a township road or minor street in lieu of the minimum required 25 feet, per Section 6.2.2 C.1.c. for existing home sites 88 through 93.

Part E: Authorize a minimum rear yard of 0 feet in lieu of the minimum required 15 feet, per Section 6.2.2 C.2. for existing home sites 1 through 10, 47, 48, 50, 52, 55, 57, 58, 64, 89, and 91.

Part F: Authorize a Manufactured Home Park with 3 percent of the gross site area in lieu of the minimum required 8 percent and parcels of recreation space that are at least 3,985 square feet in lieu of the minimum required 6,000 square feet, per Section 6.2.2 D.

Part G: Authorize a waiver from Section 6.2.2 E.1., for a Site Plan that does not include the limits of each Manufactured Home Site.

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Part H: Authorize a minimum setback (yard) of 2 feet in lieu of 15 feet between the manufactured home and the manufactured home site boundary adjacent to private accessways, per Section 6.2.2 E.2.a. for proposed home site 21 and existing home sites 1 through 93 except home sites 27, 48, 64, 70, 71, and 72.

Part I: Authorize a minimum setback (yard) of 8 feet in lieu of 20 feet between the entrance side of the manufactured home and the manufactured home site boundary, per Section 6.2.2 E.2.b. for existing home sites 1 through 93 except home sites 1, 19, 27, 28, 39 through 44, 47, 66, 73, 74, 75, 77, 79, and 81.

Part J: Authorize a minimum setback (rear and side yards) of 0 feet in lieu of the minimum required 10 feet, per Section 6.2.2 E.2.c. for existing home sites 1 through 93 except home sites 11, 27, 47, 65, and 74.

Part K: Authorize a minimum manufactured home site of 1,600 square feet in area in lieu of the minimum required 3,200 square feet, per Section 6.2.2 E.3. for existing home sites 1 through 9, 13 through 18, 21, 29 through 38, 40, 41, 45, 46, 52 through 64, 67, 68, 74 through 77, 80, 85 and 86.

Part L: Authorize no outdoor paved living space in lieu of an outdoor living space of at least 160 square feet with a minimum dimension of 8 feet, per Section 6.2.2 E.5. for existing home sites 1 through 93.

Part M: Authorize no improved off-street parking spaces for each existing manufactured home site in lieu of the minimum required two improved off-street parking spaces, per Section 6.2.2 E.7. for existing home sites 7, 8, 13, 14, 15, 18, 29, 30, 33, 34, 37, 38, 46, 53, 54, and 67.

Part N: Authorize a minimum pavement width of 18 feet for existing private accessways in lieu of the minimum required 24 feet for minor streets, per Section 6.2.2 F.5.

Part O: Authorize a waiver from Section 6.2.2 F.6., with respect to paving materials, curbs and gutters, grading, intersections, offsets, and radii of curvature, the provisions of the Subdivision Ordinance shall apply to existing private accessways.

Part P: Authorize electrical service to the existing street lighting system to be located above ground in lieu of underground, per Section 6.2.2 G.2.

Part Q: Authorize a waiver for the electrical system for all existing homes, any used homes that will replace existing homes, and for the electrical distribution system to existing homes, to comply with the latest edition of the National Electric Code, per Section 6.2.3 D.1.

Part R: Authorize a waiver for a Manufactured Home Park that provides an off-site Management Office in lieu of an on-site Management Office, per Section 6.2.4 A.

{SUBJECT TO THE FOLLOWING SPECIAL CONDITIONS:}

- A. Within 30 days of approval of Case 869-AM-17 by the Champaign County Board, the petitioner shall file a miscellaneous document with the Champaign County Recorder of Deeds stating the Stonetown Woodland Acres Manufactured Home Park was authorized subject to special conditions in Case 870-S-17, and the document shall**

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contain all of the special conditions of approval for Cases 870-S-17. A copy of the recorded document shall be given to the Zoning Administrator after filing with the Recorder of Deeds.

- B. The Zoning Administrator shall not authorize a Zoning Compliance Certificate until the petitioners have demonstrated that any new or proposed exterior lighting on the subject property will comply with the lighting requirements of Section 6.1.2.
- C. That the petitioners develop the recreation areas within two years and in accordance with the most recent version of the *Illinois Mobile Home Park Act (210 ILCS 115)* and the Illinois Department of Public Health *Manufactured Home Community Code (860 ILCS 220)*.
- D. On-street parking shall be allowed only when there is at least 24 feet in unobstructed pavement width for travel, and shall be clearly marked with signs at each entrance to the development or sufficiently throughout the park and these signs shall be in place before any replacement of homes occurs and shall be verified in all inspections by the Zoning Administrator.
- E. Replacement homes shall conform to setback and yard requirements established in Zoning Ordinance Section 6.2.2, unless larger replacement homes occupy more than one of the existing home sites.
- F. Any proposed new construction and/ or proposed new use shall be authorized and established as follows:
 - (1) A Change of Use Permit shall be required for any replacement of existing nonconforming structures. The replacement structure shall be inspected by the Zoning Administrator prior to occupancy and if the replacement structure is in compliance with the approval in Case 870-S-17, then the Zoning Administrator shall authorize occupancy in a Zoning Compliance Certificate. The total fee for a Change of Use Permit for replacement of existing nonconforming structures, including the Zoning Compliance Certificate, shall be \$66 per home site.
 - (2) Each new home on proposed sites 94 through 114 shall be established pursuant to a Zoning Use Permit that may include all homes on one combined permit or individual homes on individual permits at a fee of \$33 per each site plus a Zoning Compliance Certificate fee of \$33 per each site.
 - (3) Development of the proposed recreation areas shall be authorized either under a Change of Use Permit for a fee of \$65 or may be combined for no fee with any other required Change of Use Permit or Zoning Use Permit.
- G. The Overall Layout Plan by Farnsworth Group, received June 16, 2017, and the Revised Expansion Permit Drawings for proposed new home sites received June 16, 2017, comprise the official site plan for approval in Case 870-S-17.

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The foregoing is an accurate and complete record of the Findings and Determination of the Zoning Board of Appeals of Champaign County.

SIGNED:

ATTEST:

Eric Thorsland, Chair
Champaign County Zoning Board of Appeals

Secretary to the Zoning Board of Appeals

Date