

V:\Project Files\021013-00-0000 STATE FARM HEADQUARTERS MODERNIZATION\02_CAD\00_REV\IT020156_Champaign County Salt Dome-Salt Brine Shed_R2020_sankenbrandt.rvt 6/14/2021 10:29:43 AM

ABBREVIATIONS

A		L	
ACT	ACOUSTICAL CEILING TILE	LAV	LAVATORY
AD	AREA DRAIN	M	
AFF	ABOVE FINISHED FLOOR	MATL	MATERIAL
ALUM	ALUMINUM	MAX	MAXIMUM
ANOD	ANODIZED	MECH	MECHANICAL
APPROX	APPROXIMATE	MFR	MANUFACTURER
B		MIN	MINIMUM
BSMT	BASEMENT	MO	MASONRY OPENING
BTTM	BOTTOM OF	MRGWB	MOISTURE-RESISTANT GYPSUM WALL BOARD
C		MTD	MOUNTED
C/C	CENTER TO CENTER	MTL	METAL
CIP	CAST IN PLACE	N	
CJ	CONTROL JOINT	NIC	NOT IN CONTRACT
CLG	CEILING	NO	NUMBER
CLR	CLEAR	NOM	NOMINAL
CMU	CONCRETE MASONRY UNIT	O	
CO	CLEAN OUT	OC	ON CENTER
COL	COLUMN	OH	OPPOSITE HAND
CONC	CONCRETE	OZ	OUNCE
CONST JT	CONSTRUCTION JOINT	P	
CONT	CONTINUOUS	POC	PRE-CAST CONCRETE
CPT	CARPET	PLUMB	PLUMBING
CT	CERAMIC TILE	PNT	PAINT/PAINTED
D		PSI	POUNDS PER SQUARE INCH
DBL	DOUBLE	PT	PRESSURE TREATED
DEMO	DEMOLISH	PVC	POLYVINYL CHLORIDE
DIA	DIAMETER	R	
DIMS	DIMENSIONS	R	RADIUS
DN	DOWN	RBR	RUBBER
DTL	DETAIL	RCP	REFLECTED CEILING PLAN
DWG	DRAWING	RD	ROOF DRAIN
E		REINF	REINFORCED
EA	EACH	REOD	REQUIRED
EJ	EXPANSION JOINT	RM	ROOM
EL	ELEVATION	S	
ELEC	ELECTRICAL	SF	SQUARE FOOT
ELEV	ELEVATOR / ELEVATION	SIM	SIMILAR
EPDM	ETHYLENE PROPYLENE DIENE ROOFING	SOG	SLAB ON GRADE
EQ	EQUAL	SPEC	SPECIFIED OR SPECIFICATION
EXIST	EXISTING	SPK	SPRINKLER
EXT	EXTERIOR	SQ	SQUARE
F		SSTL	STAINLESS STEEL
FD	FLOOR DRAIN	STC	SOUND TRANSMISSION COEFFICIENT
FE	FIRE EXTINGUISHER	STL	STEEL
FEC	FIRE EXTINGUISHER CABINET	STRUCT	STRUCTURAL
FFE	FINISHED FLOOR ELEVATION	T	
FIN	FINISH	T&G	TONGUE & GROOVE
FLR	FLOOR	TI	TOP OF
FND	FOUNDATION	T/D	TELEPHONE/DATA
FO	FACE OF	TELE	TELEPHONE
FTG	FOOTING	TLT	TOILET
G		TOC	TOP OF CONCRETE
GA	GAUGE	TOS	TOP OF STEEL / STRUCTURE
GALV	GALVANIZED	TOW	TOP OF WALL
GWB	GYPSUM WALL BOARD	TYP	TYPICAL
H		U	
HC	HOLLOW CORE	UNO	UNLESS NOTED OTHERWISE
HM	HOLLOW METAL	V	
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING	VIF	VERIFY IN FIELD
I		VP	VISION PANEL
INSUL	INSULATION / INSULATED	W	
INT	INTERIOR	WI	WITH
IRGWB	IMPACT RESISTANT GYPSUM WALLBOARD	WD	WOOD
		WWF	WELDED WIRE FABRIC

COUNTY HIGHWAY SALT DOME & BRINE SHED ASPHALT SHINGLE AND BROOKENS POD 'S #300 & #400 EPDM RUBBER ROOF MEMBRANE REPLACEMENT PROJECT

ITB # : 2021-007
PROJECT NO : 020156
ISSUED FOR BID

DRAWING MATRIX

Sheet Number	Sheet Name
GENERAL	
G100	COVER SHEET
G110	ARCHITECTURAL SITE PLAN - BROOKENS
G111	ARCHITECTURAL SITE PLAN - SALT DOME
ARCHITECTURAL	
A100	BROOKENS ROOF PLAN - EXISTING/DEMO
A200	SALT DOME ROOF PLAN - EXISTING/DEMO
A300	BROOKENS ROOF PLAN - NEW WORK
A400	SALT DOME ROOF PLAN - NEW WORK
A500	BROOKENS ARCHITECTURAL DETAILS
A601	SALT DOME ARCHITECTURAL DETAILS

SCOPE OF WORK

WORK GENERALLY INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING:

SALT DOME:

- REMOVE EXISTING ASPHALT SHINGLE SYSTEM AND UNDERLAYMENT COMPLETELY DOWN TO ROOF DECK
- REMOVE EXISTING FLASHING WHERE INDICATED ON DRAWINGS.
- INSTALL ROOF UNDERLAYMENT, ICE/WATER SHIELD, AND ASPHALT SHINGLE SYSTEM
- INSTALL METAL FLASHINGS.

BROOKEN CENTER:

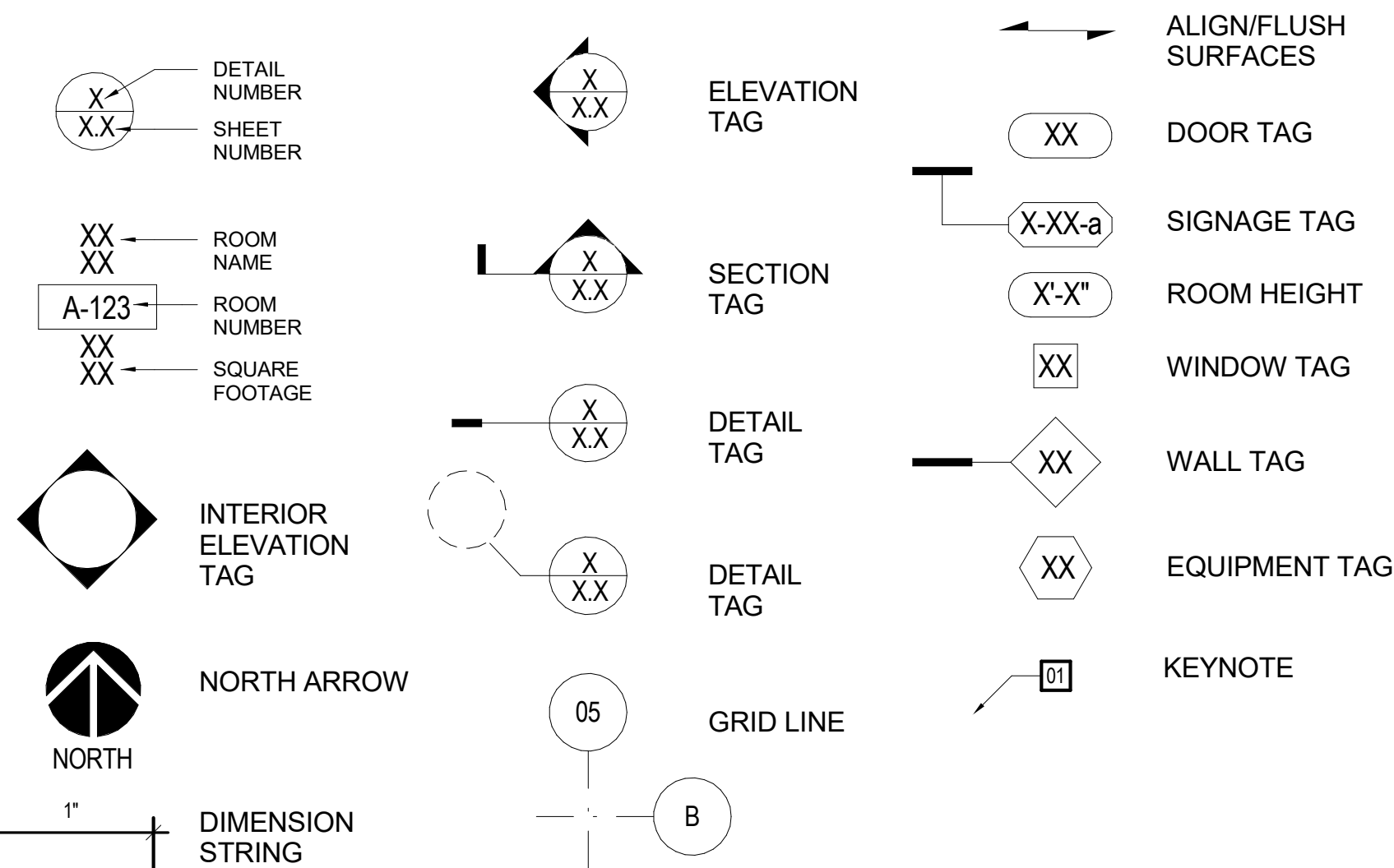
- REMOVE EXISTING EPDM SINGLE-PLY ROOFING COMPLETELY DOWN TO DECK.
- INSTALL .060 FULLY-ADHERED EPDM SINGLE-PLY ROOFING SYSTEM, TAPERED ROOF INSULATION.
- REMOVE AND REPLACE METAL FLASHINGS

APPLICABLE BUILDING CODES

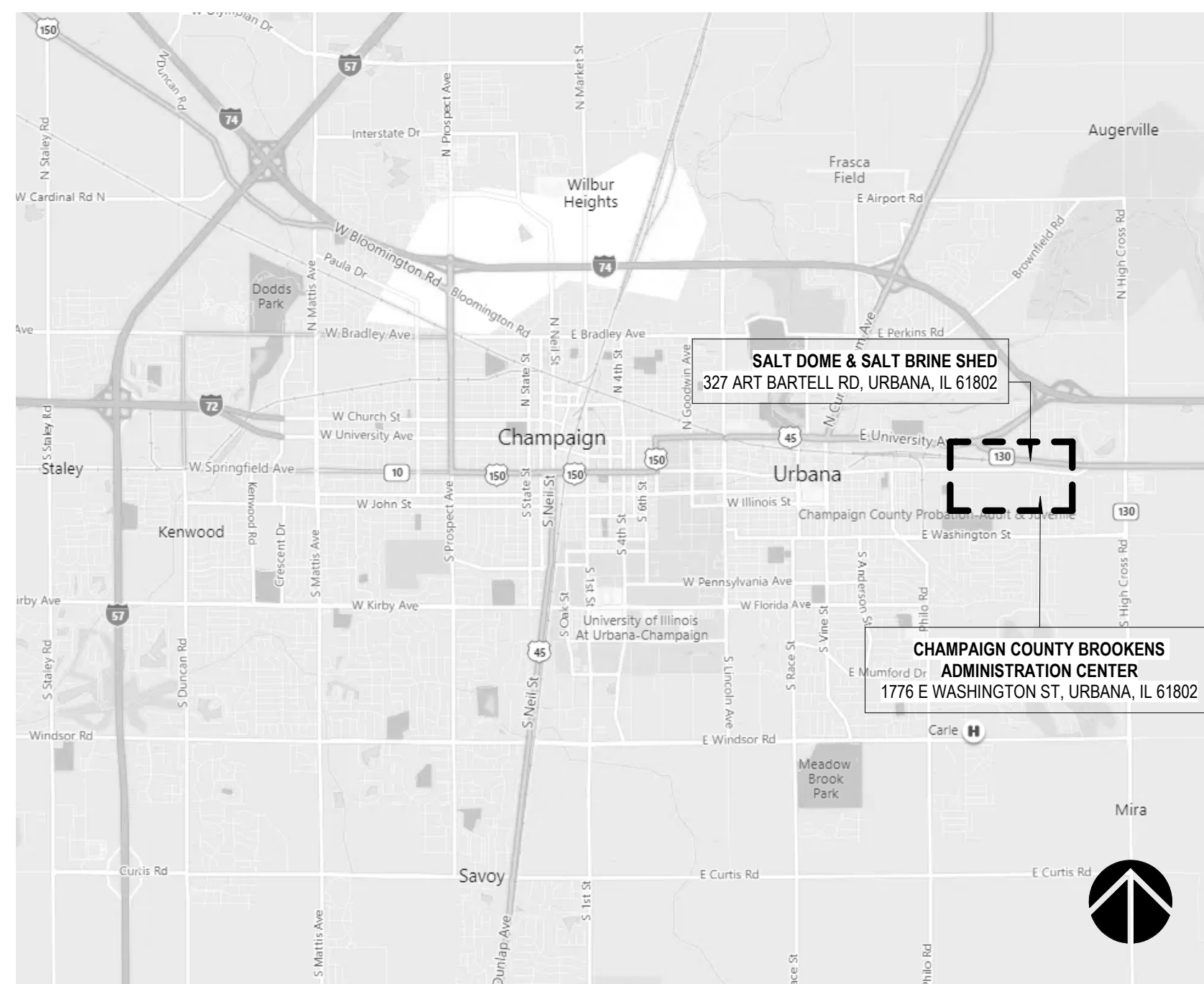
GOVERNING CODES:

- INTERNATIONAL BUILDING CODE 2009
- INTERNATIONAL FIRE CODE 2009
- ILLINOIS STATE PLUMBING CODE
- INTERNATIONAL MECHANICAL CODE 2009
- AMERICAN NATIONAL STANDARD INSTITUTE (ANSI)
- ANSI C2 - NATIONAL ELECTRICAL SAFETY CODE
- AMERICAN STANDARD TESTING MATERIALS (ASTM)
- NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) LIFE SAFETY CODE (LSC) NFPA 101
- NATIONAL FIRE CODE (NFC) 220
- SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION (SMACNA)
- UNDERWRITERS' LABORATORIES, INC. (UL)
- ICEA - STANDARDS FOR WIRE AND CABLE

SYMBOLS LEGEND



SITE LOCATION MAP



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ROOF REPLACEMENT ITB
#2021-007

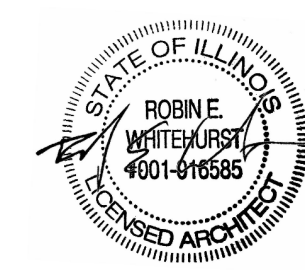
BROOKENS ADMINISTRATIVE CENTER
SALT DOME/BRINE SHED

Drawing Title

COVER SHEET

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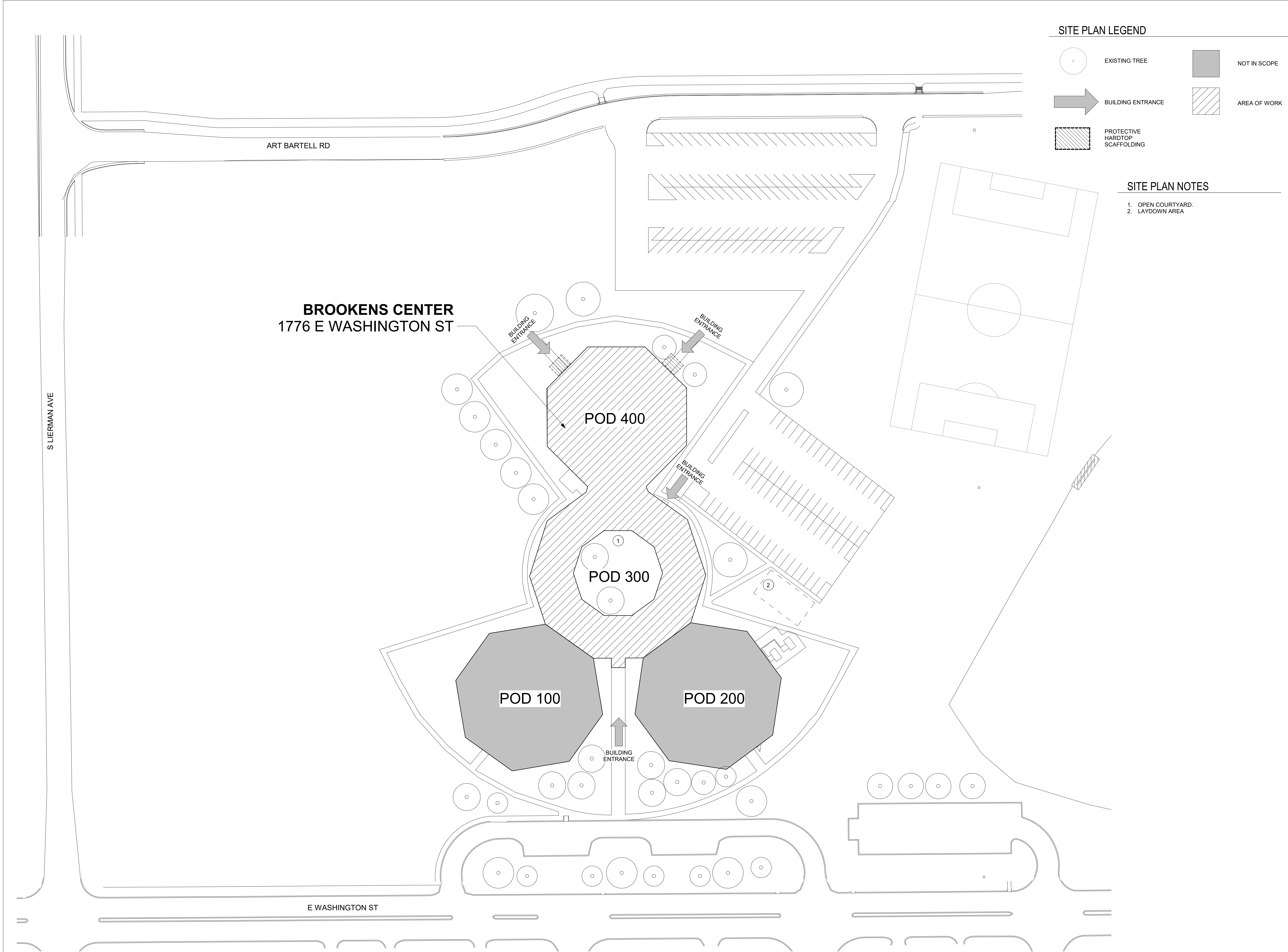
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Drawn By:
JS

Drawing No.
G100

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SITE PLAN LEGEND

- EXISTING TREE
- NOT IN SCOPE
- BUILDING ENTRANCE
- AREA OF WORK
- PROTECTIVE HARDTOP SCAFFOLDING

SITE PLAN NOTES

1. OPEN COURTYARD.
2. LAYDOWN AREA



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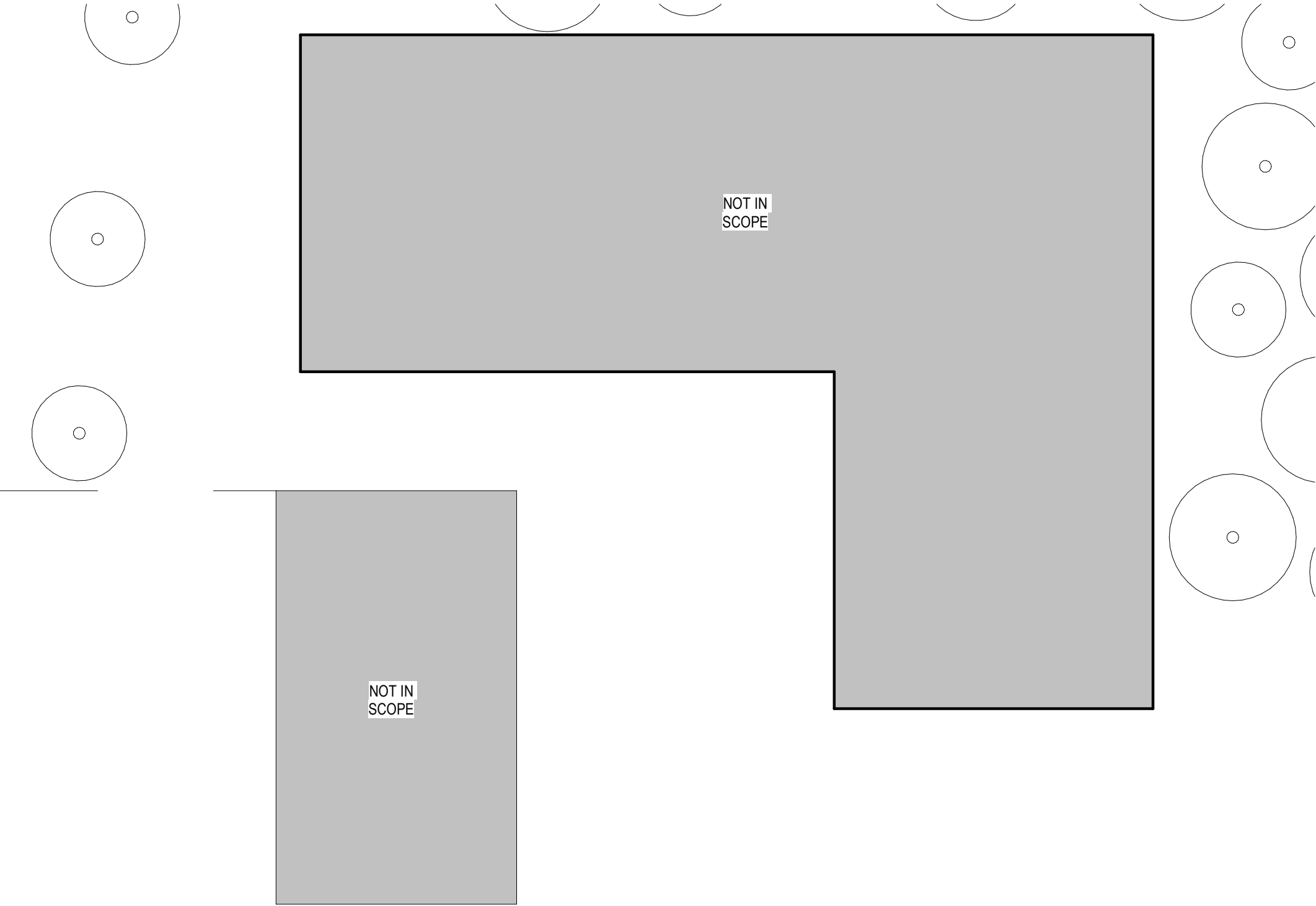
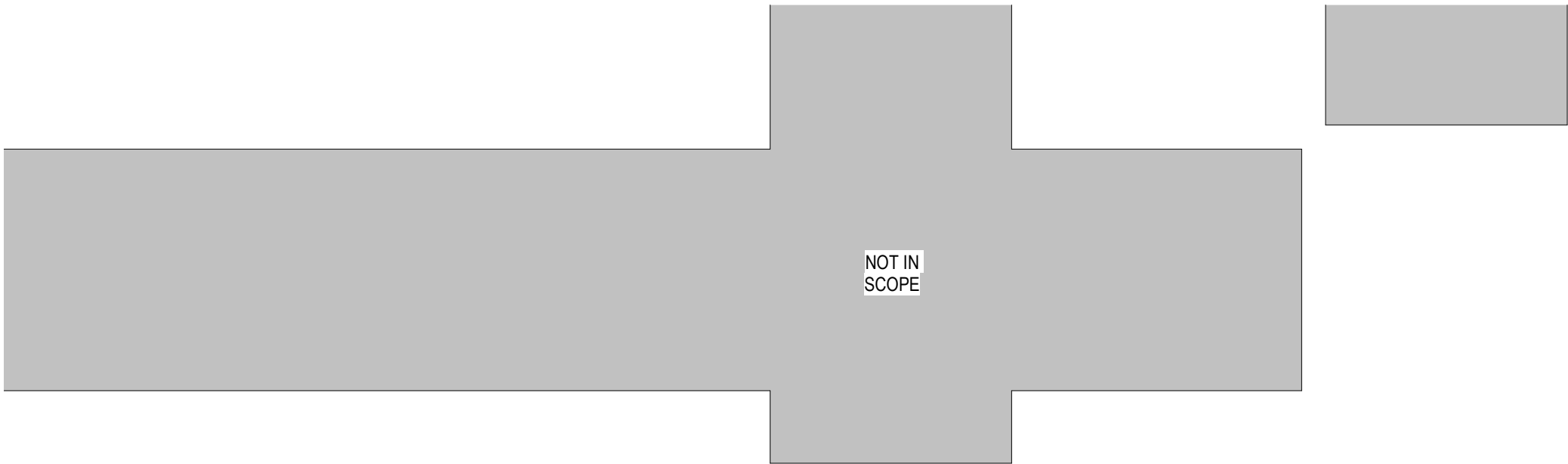
ARCHITECTURAL
SITE PLAN -
BROOKENS

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1 ARCHITECTURAL SITE PLAN
1" = 50'-0"




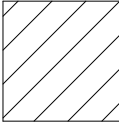
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SITE PLAN LEGEND

 EXISTING TREE

 NOT IN SCOPE

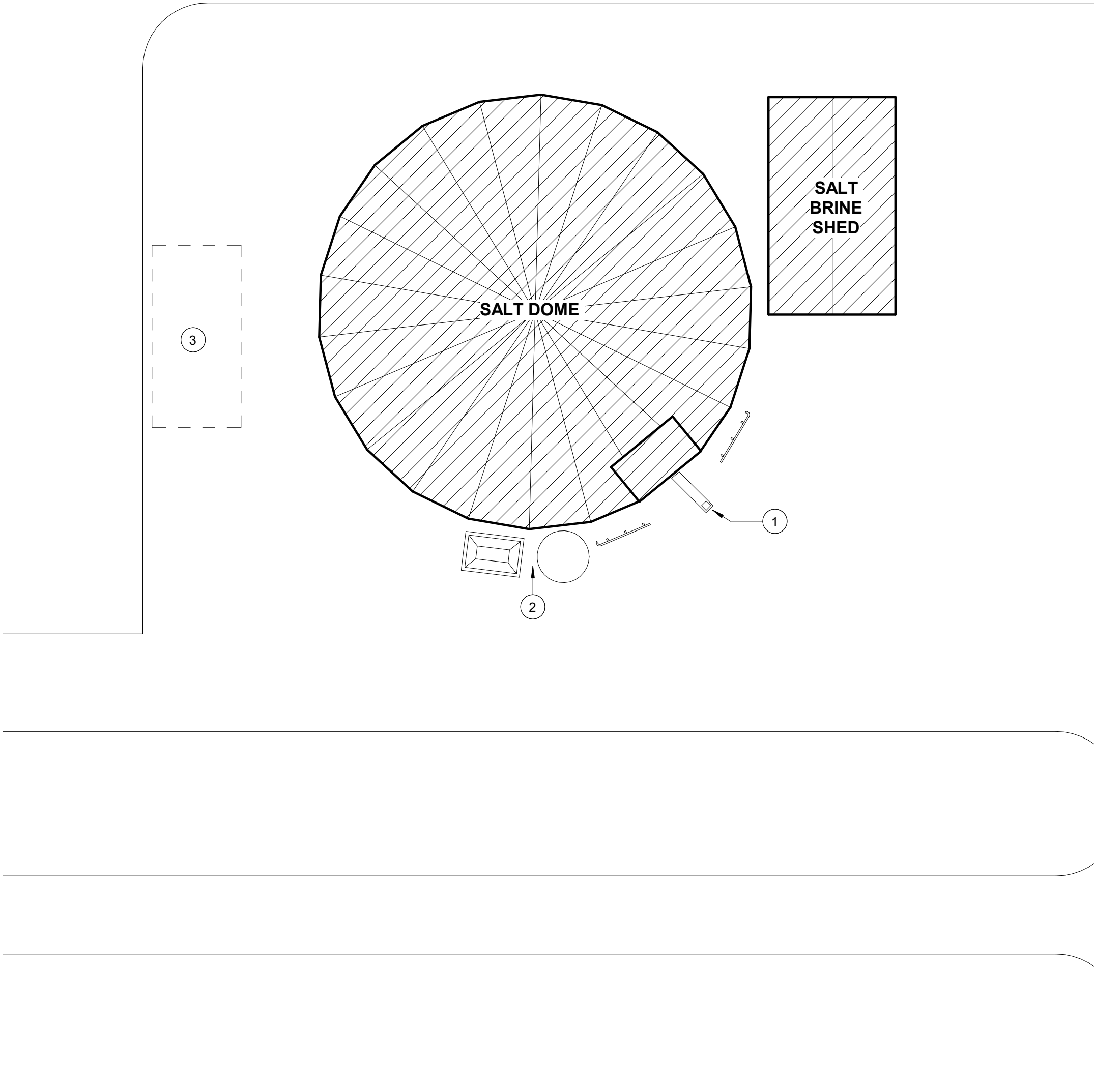
 AREA OF WORK

SITE PLAN NOTES

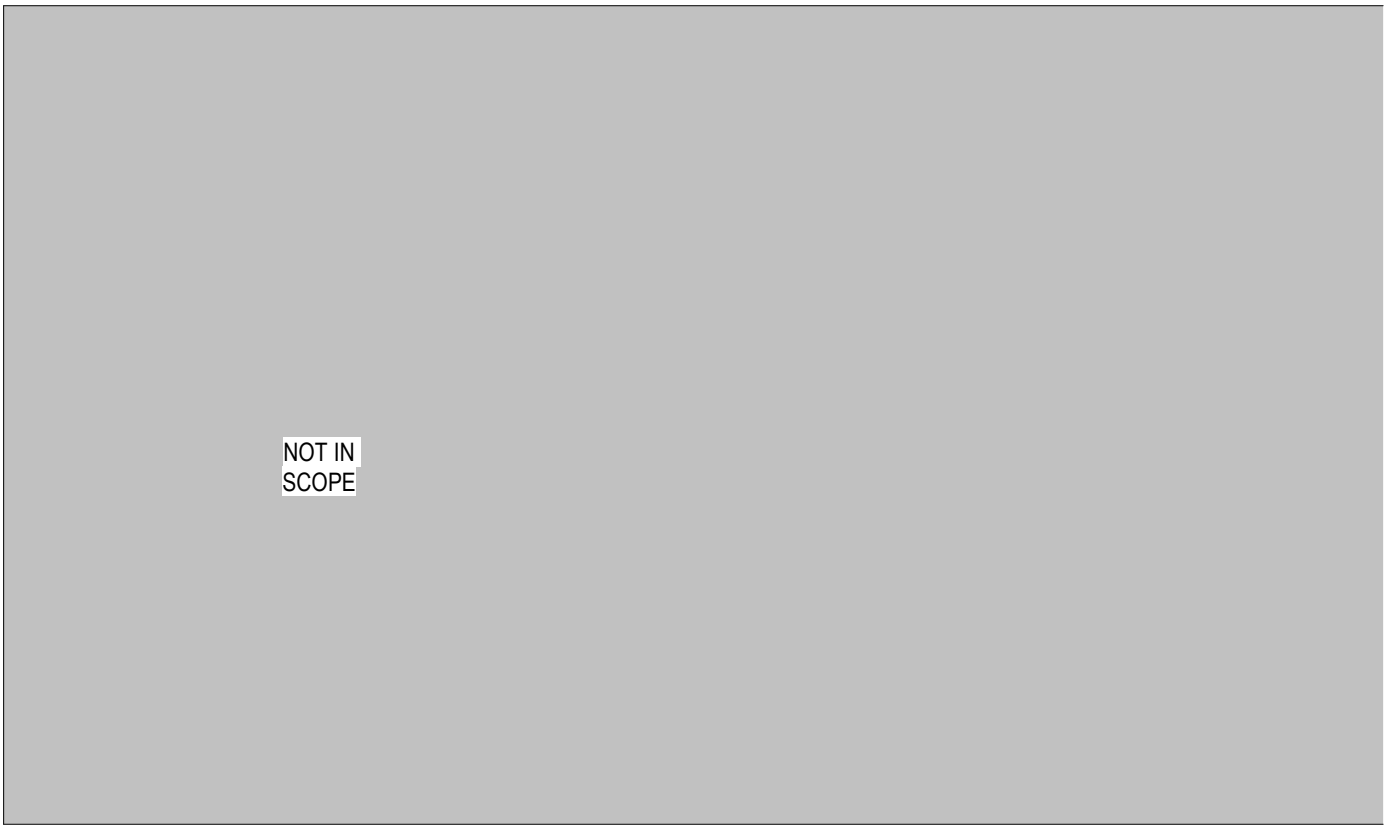
1. EXISTING DOME OPENING, AND CONVEYOR SYSTEM.

2. EXISTING STORAGE TANK AND EQUIPMENT.

3. LAYDOWN AREA.



ART BARTELL RD



1

ARCHITECTURAL SITE PLAN
1" = 30'-0"





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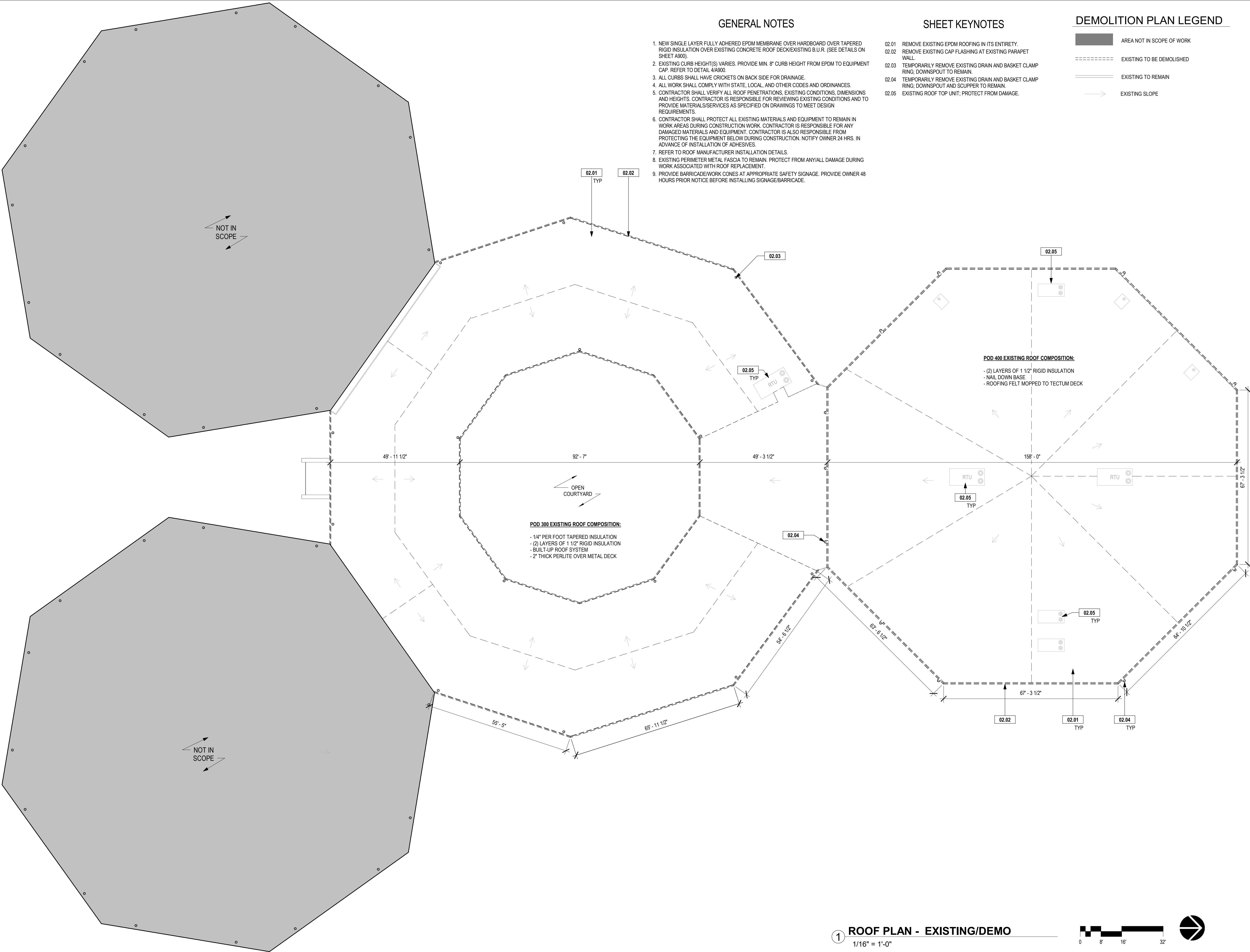
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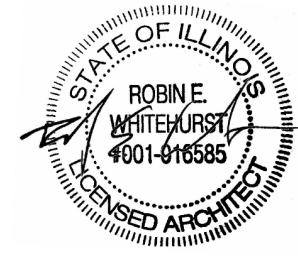
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#2021-007

BROOKENS ADMINISTRATIVE CENTER
SALT DOME/BRINE SHED

BROOKENS ROOF
PLAN -
EXISTING/DEMO

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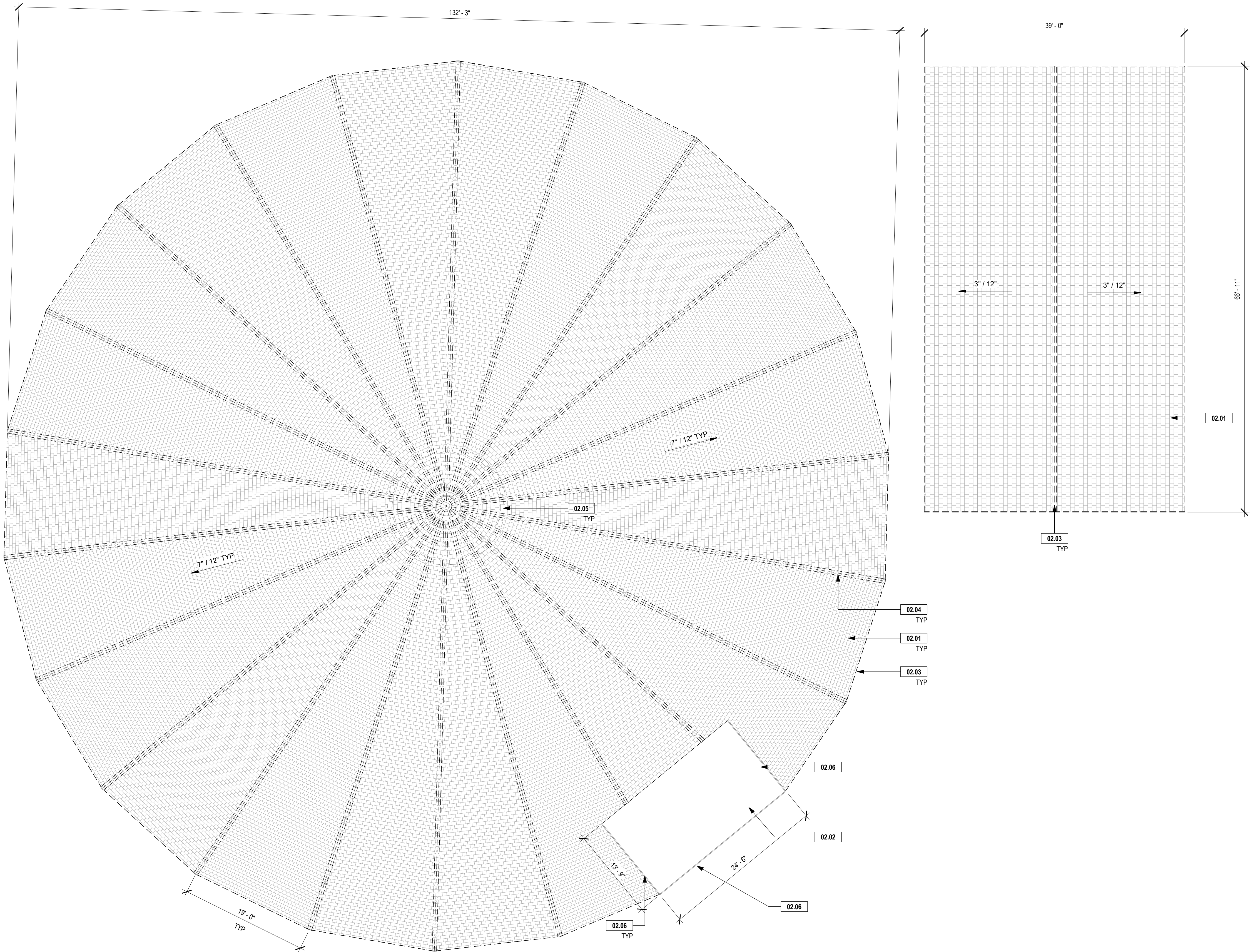
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JS

Drawing No.
D100

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DEMOLITION PLAN LEGEND

- AREA NOT IN SCOPE OF WORK
- EXISTING TO BE DEMOLISHED
- EXISTING TO REMAIN
- SHINGLE ROOFING SYSTEM

GENERAL NOTES

- PROTECT EXISTING CONSTRUCTION TO REMAIN FROM ANY / ALL DAMAGE.
- TEMPORARILY REMOVE EXISTING SURFACE-MOUNTED ELECTRICAL CONDUIT AS REQUIRED TO PERFORM WORK.

SHEET KEYNOTES

- 02.01 REMOVE EXISTING SHINGLE ROOF SYSTEM IN ITS ENTIRETY.
- 02.02 REMOVE EXISTING EPDM ROOF SYSTEM IN ITS ENTIRETY.
- 02.03 REMOVE EXISTING METAL EDGE FLASHING, RIDGE FLASHING & WOOD FASCIA IN ITS ENTIRETY.
- 02.04 REMOVE EXISTING RIDGE SHINGLES SYSTEM IN ITS ENTIRETY.
- 02.05 EXISTING ROOF VENTS TO REMAIN.
- 02.06 REMOVE EXISTING 1X WOOD FASCIA



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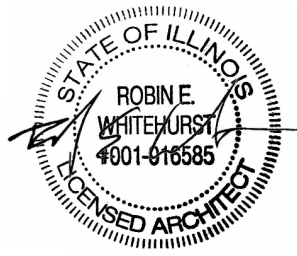
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SALT DOME/BRINE SHED

Drawing Title

SALT DOME ROOF
PLAN -
EXISTING/DEMO

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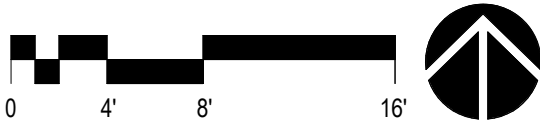
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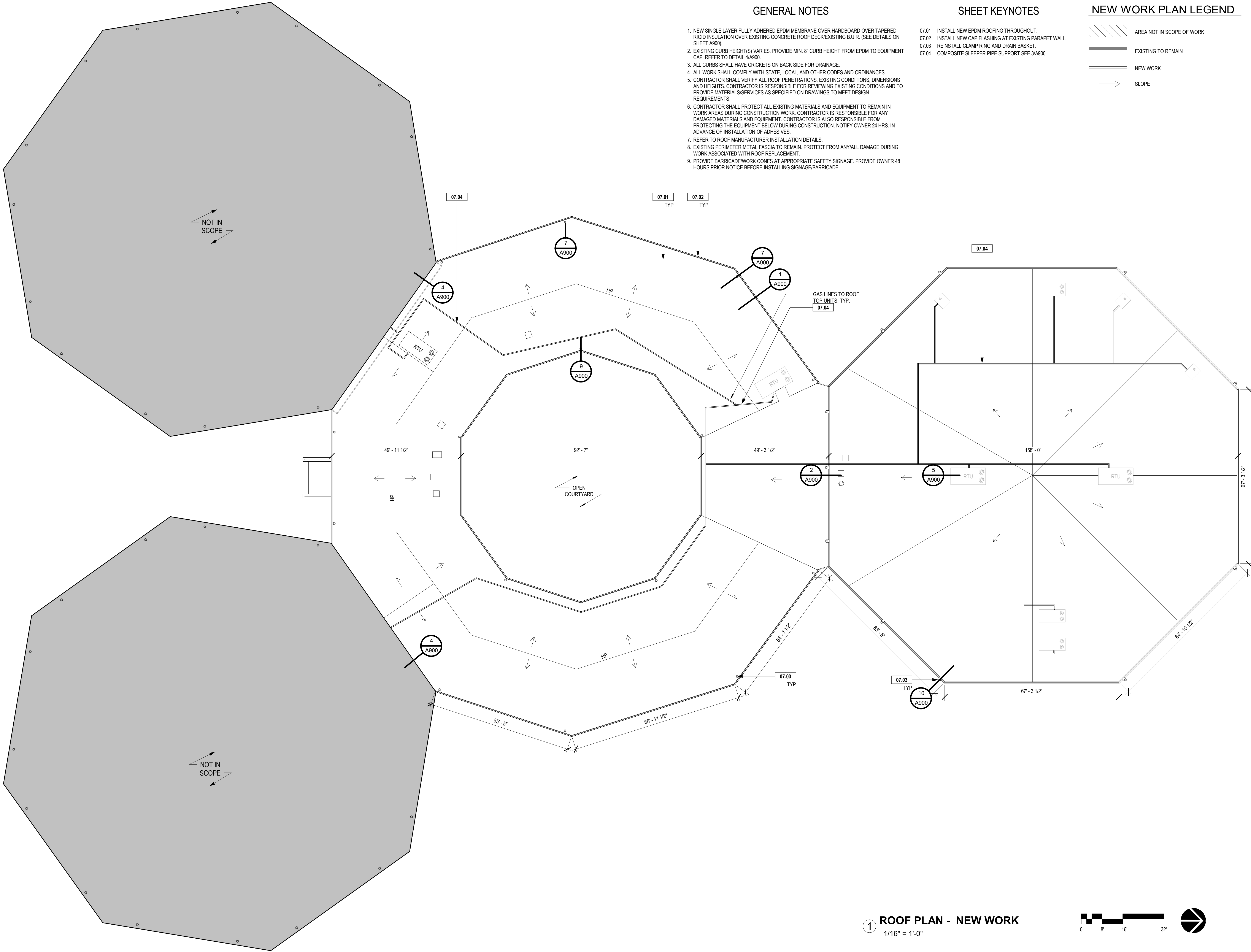
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D200

1 ROOF PLAN - EXISTING/DEMO
1/8" = 1'-0"



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GENERAL NOTES

1. NEW SINGLE LAYER FULLY ADHERED EPDM MEMBRANE OVER HARDBOARD OVER TAPERED RIGID INSULATION OVER EXISTING CONCRETE ROOF DECK/EXISTING B.U.R. (SEE DETAILS ON SHEET A900).
2. EXISTING CURB HEIGHT(S) VARIES. PROVIDE MIN. 8" CURB HEIGHT FROM EPDM TO EQUIPMENT CAP. REFER TO DETAIL 4/A900.
3. ALL CURBS SHALL HAVE CRICKETS ON BACK SIDE FOR DRAINAGE.
4. ALL WORK SHALL COMPLY WITH STATE, LOCAL, AND OTHER CODES AND ORDINANCES.
5. CONTRACTOR SHALL VERIFY ALL ROOF PENETRATIONS, EXISTING CONDITIONS, DIMENSIONS AND HEIGHTS. CONTRACTOR IS RESPONSIBLE FOR REVIEWING EXISTING CONDITIONS AND TO PROVIDE MATERIALS/SERVICES AS SPECIFIED ON DRAWINGS TO MEET DESIGN REQUIREMENTS.
6. CONTRACTOR SHALL PROTECT ALL EXISTING MATERIALS AND EQUIPMENT TO REMAIN IN WORK AREAS DURING CONSTRUCTION WORK. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGED MATERIALS AND EQUIPMENT. CONTRACTOR IS ALSO RESPONSIBLE FROM PROTECTING THE EQUIPMENT BELOW DURING CONSTRUCTION. NOTIFY OWNER 24 HRS. IN ADVANCE OF INSTALLATION OF ADHESIVES.
7. REFER TO ROOF MANUFACTURER INSTALLATION DETAILS.
8. EXISTING PERIMETER METAL FASCIA TO REMAIN. PROTECT FROM ANY/IALL DAMAGE DURING WORK ASSOCIATED WITH ROOF REPLACEMENT.
9. PROVIDE BARRICADE/WORK CONES AT APPROPRIATE SAFETY SIGNAGE. PROVIDE OWNER 48 HOURS PRIOR NOTICE BEFORE INSTALLING SIGNAGE/BARRICADE.

SHEET KEYNOTES

- 07.01 INSTALL NEW EPDM ROOFING THROUGHOUT.
07.02 INSTALL NEW CAP FLASHING AT EXISTING PARAPET WALL.
07.03 REINSTALL CLAMP RING AND DRAIN BASKET.
07.04 COMPOSITE SLEEPER PIPE SUPPORT SEE 3/A900

NEW WORK PLAN LEGEND

- AREA NOT IN SCOPE OF WORK
EXISTING TO REMAIN
NEW WORK
SLOPE



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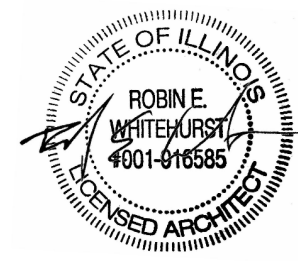
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#2021-007

BROOKENS ADMINISTRATIVE CENTER
SALT DOME/BRINE SHED

BROOKENS ROOF
PLAN - NEW WORK

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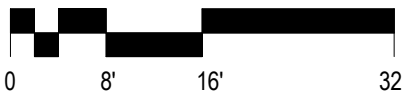
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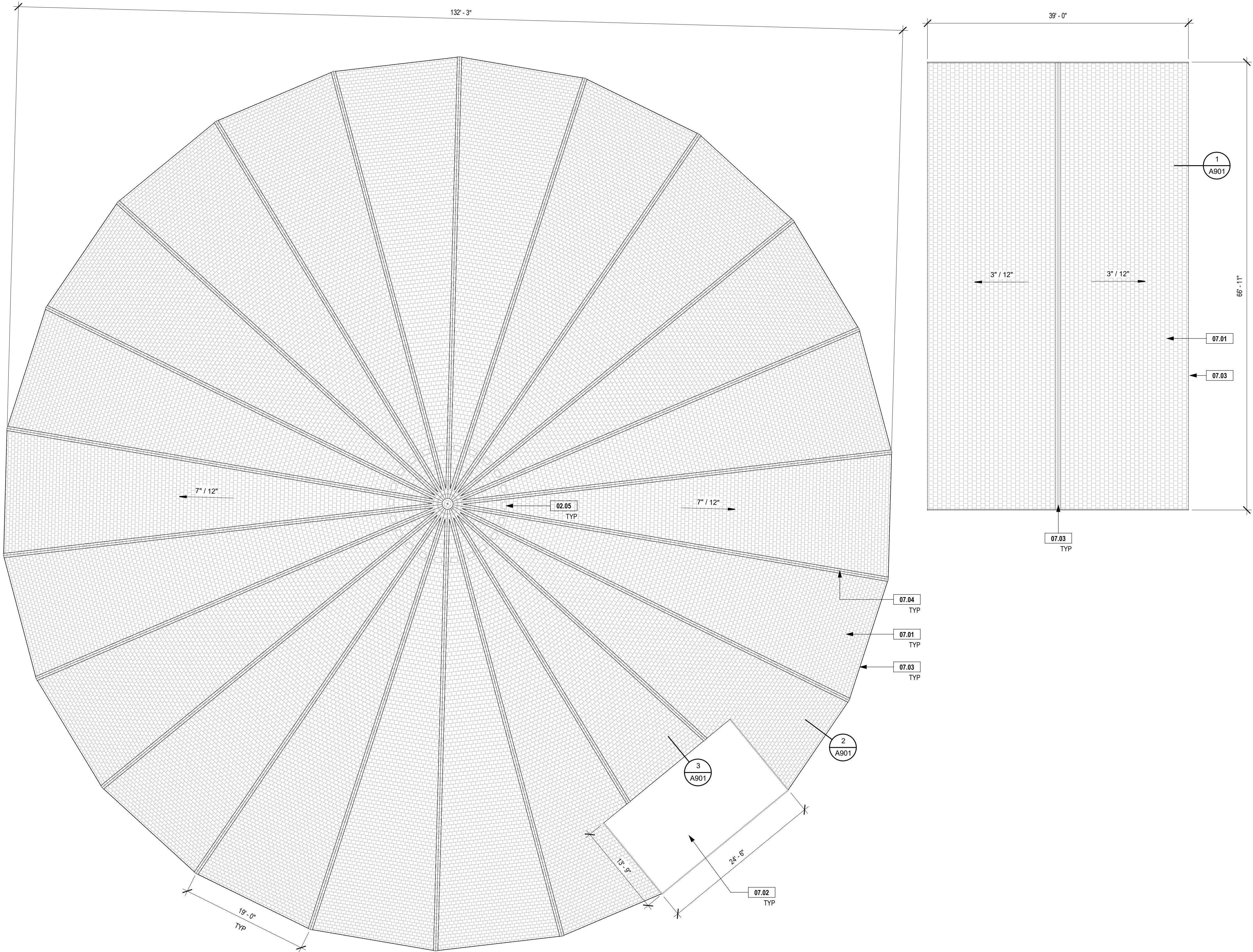
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A100

1 ROOF PLAN - NEW WORK
1/16" = 1'-0"



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NEW WORK PLAN LEGEND

- AREA NOT IN SCOPE OF WORK
- EXISTING TO REMAIN
- NEW WORK
- SHINGLE ROOFING SYSTEM

GENERAL NOTES

1. PROTECT EXISTING CONSTRUCTION TO REMAIN FROM ANY / ALL DAMAGE.
2. TEMPORARILY REMOVE EXISTING SURFACE-MOUNTED ELECTRICAL CONDUIT AS REQUIRED TO PERFORM WORK.
- 02.05 EXISTING ROOF VENTS TO REMAIN.
- 07.01 INSTALL NEW SHINGLE ROOF SYSTEM.
- 07.02 INSTALL NEW EPDM ROOF SYSTEM.
- 07.03 INSTALL NEW METAL EDGE FLASHING, RIDGE FLASHING & WOOD FASCIA IN ITS ENTIRETY.
- 07.04 INSTALL NEW RIDGE SHINGLE SYSTEM.

SHEET KEYNOTES



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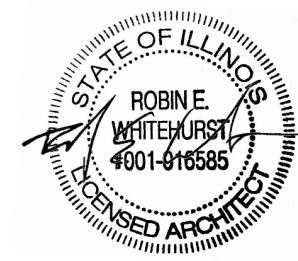
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BROOKENS ADMINISTRATIVE CENTER
SALT DOME/BRINE SHED

SALT DOME ROOF
PLAN - NEW WORK

Expiration Date of Seal: 11-30-2021

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A200

1 ROOF PLAN - NEW WORK
1/8" = 1'-0"





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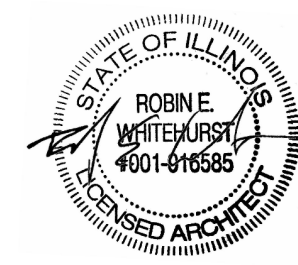
BROOKENS ADMINISTRATIVE CENTER
SALT DOME/BRINE SHED

Drawing Title

BROOKENS
ARCHITECTURAL
DETAILS

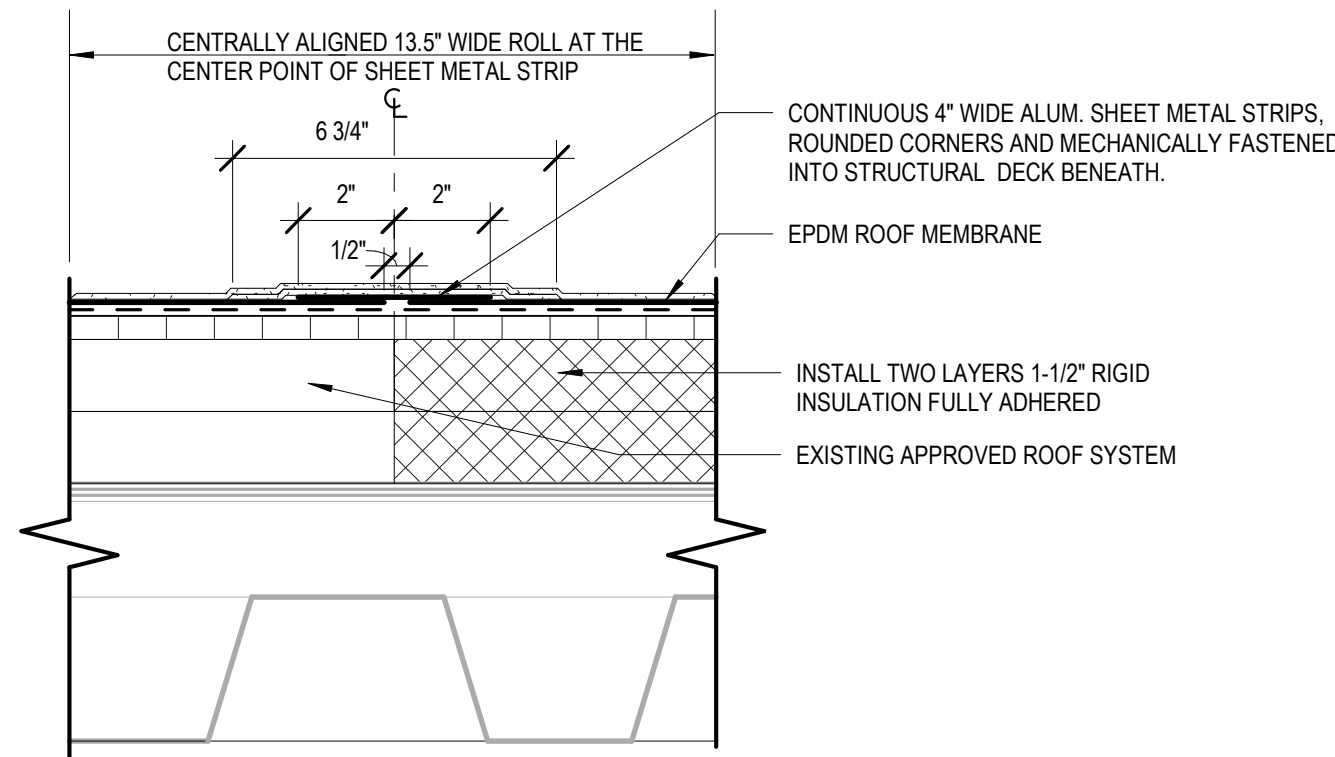
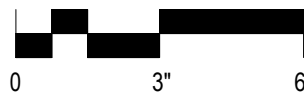
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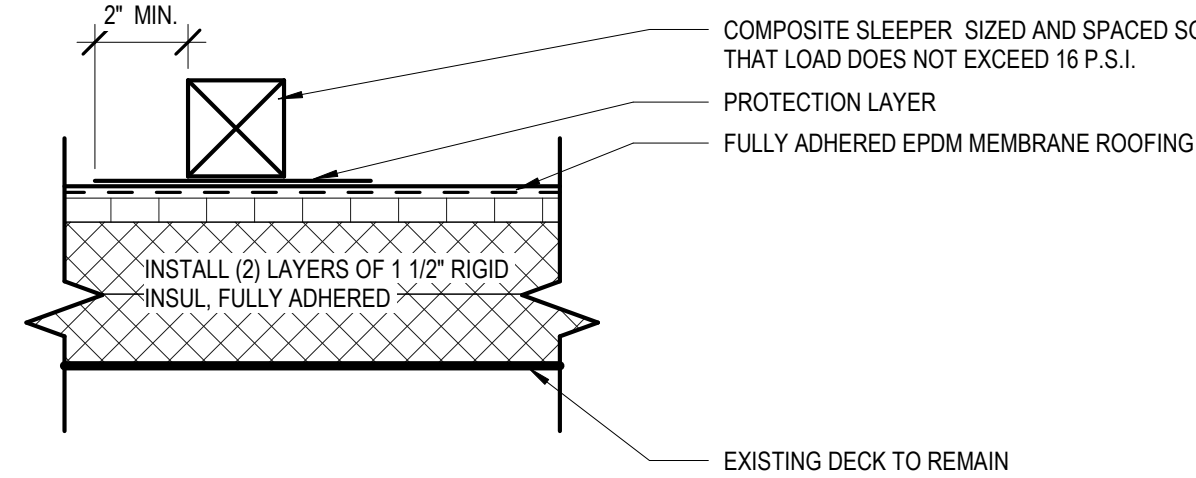
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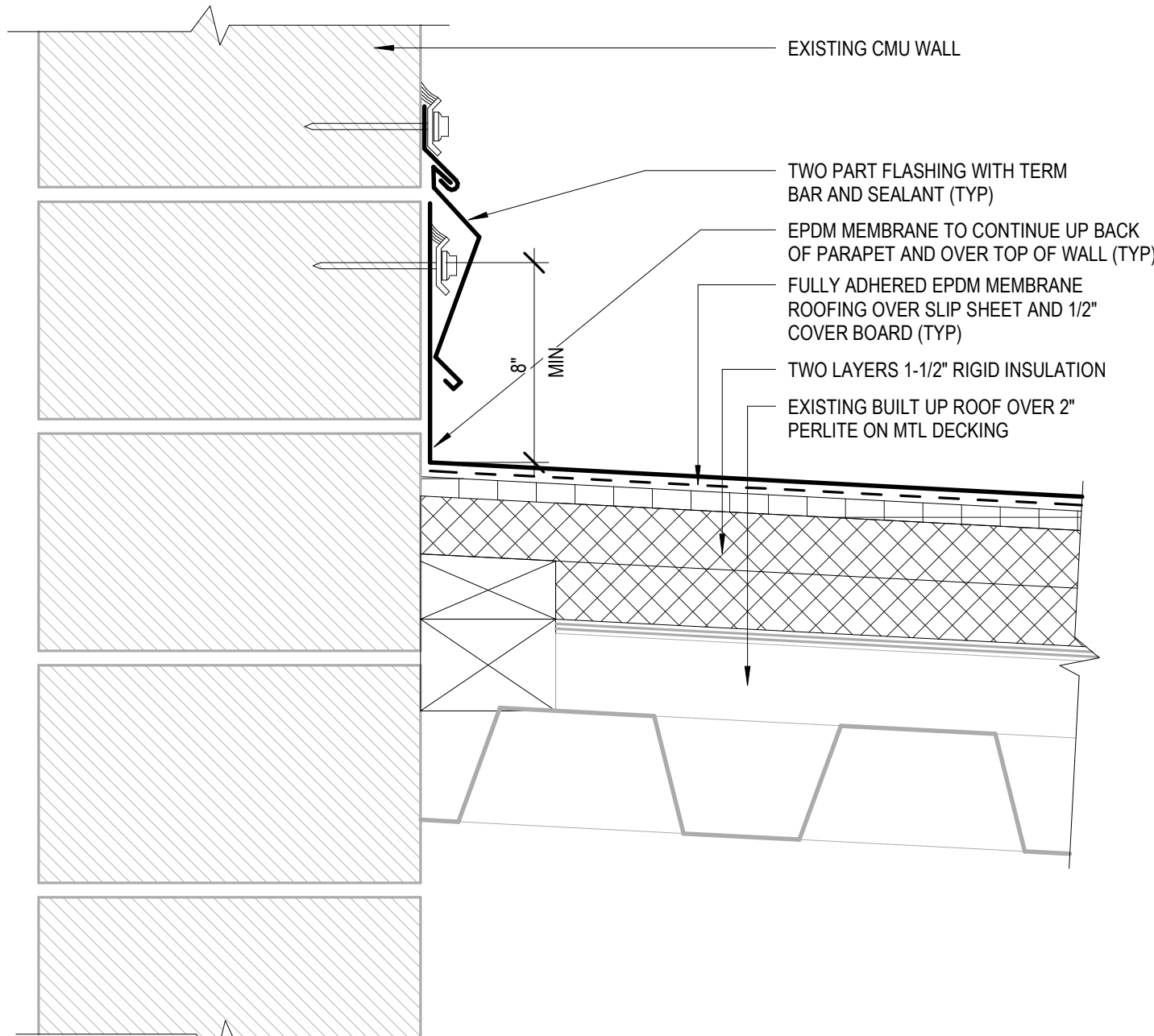
4 LAP DETAIL AT EXISTING ROOF

3" = 1'-0"



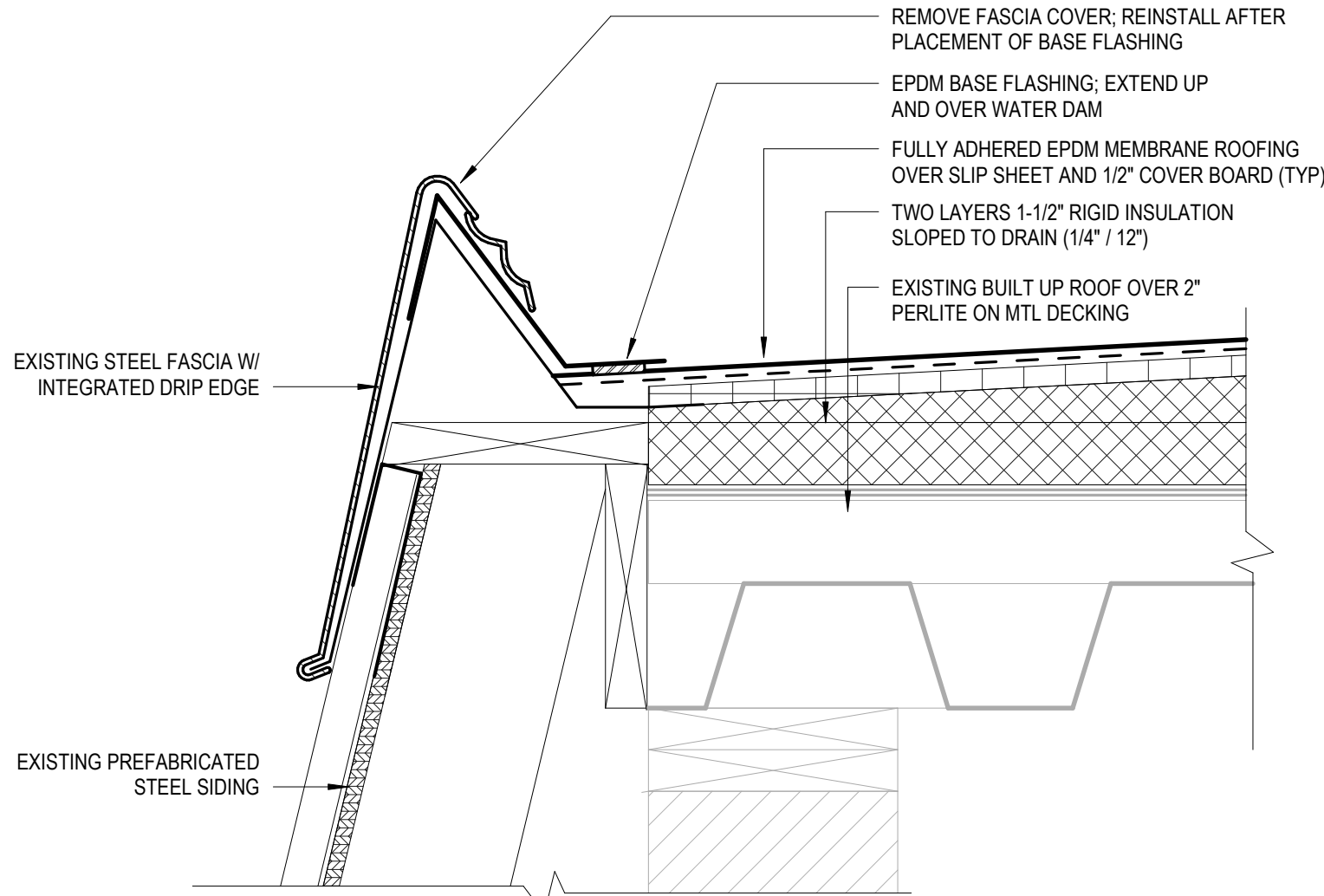
3 PIPE SUPPORT DETAIL

3" = 1'-0"



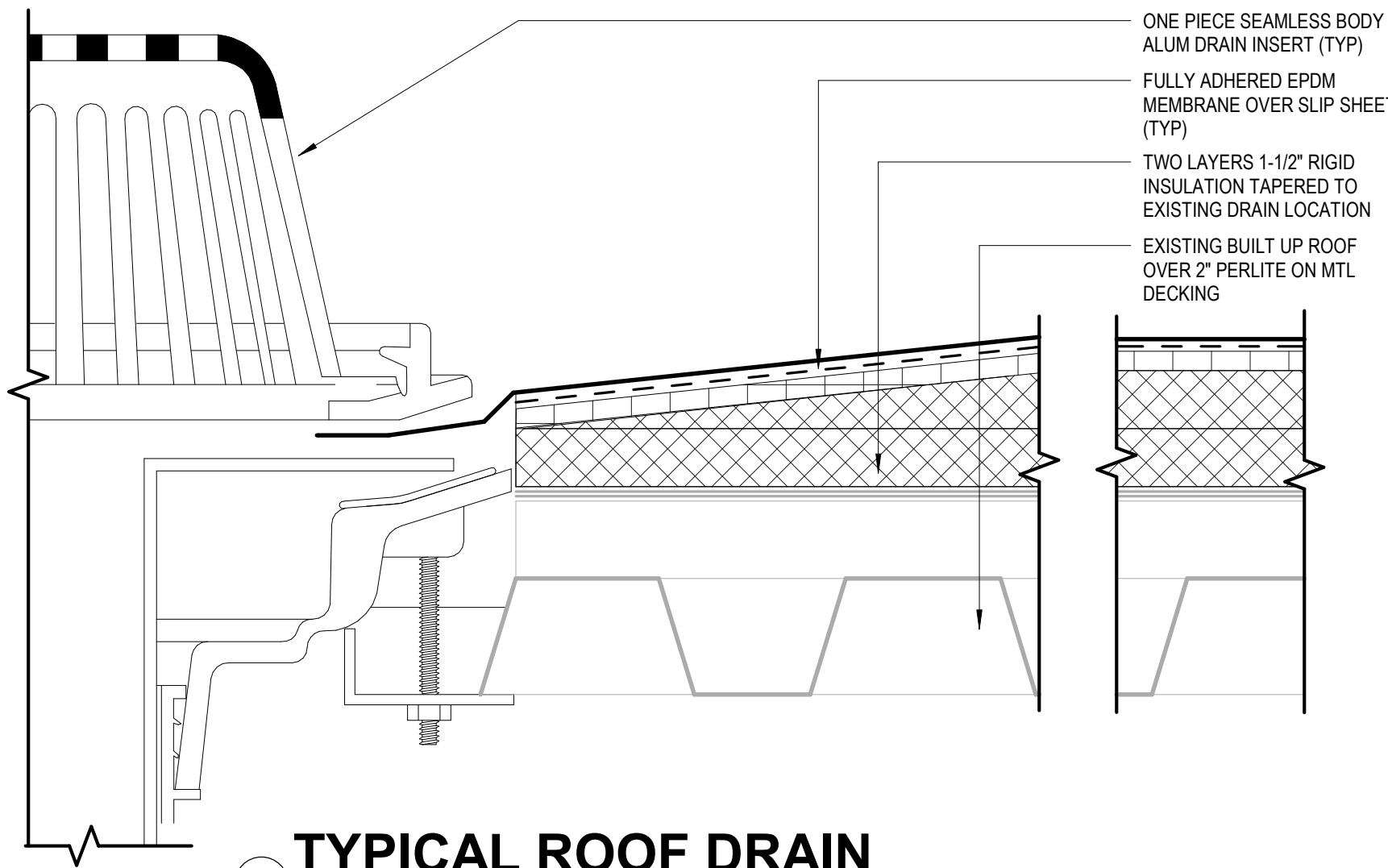
2 PARAPET / DECK DETAIL

3" = 1'-0"



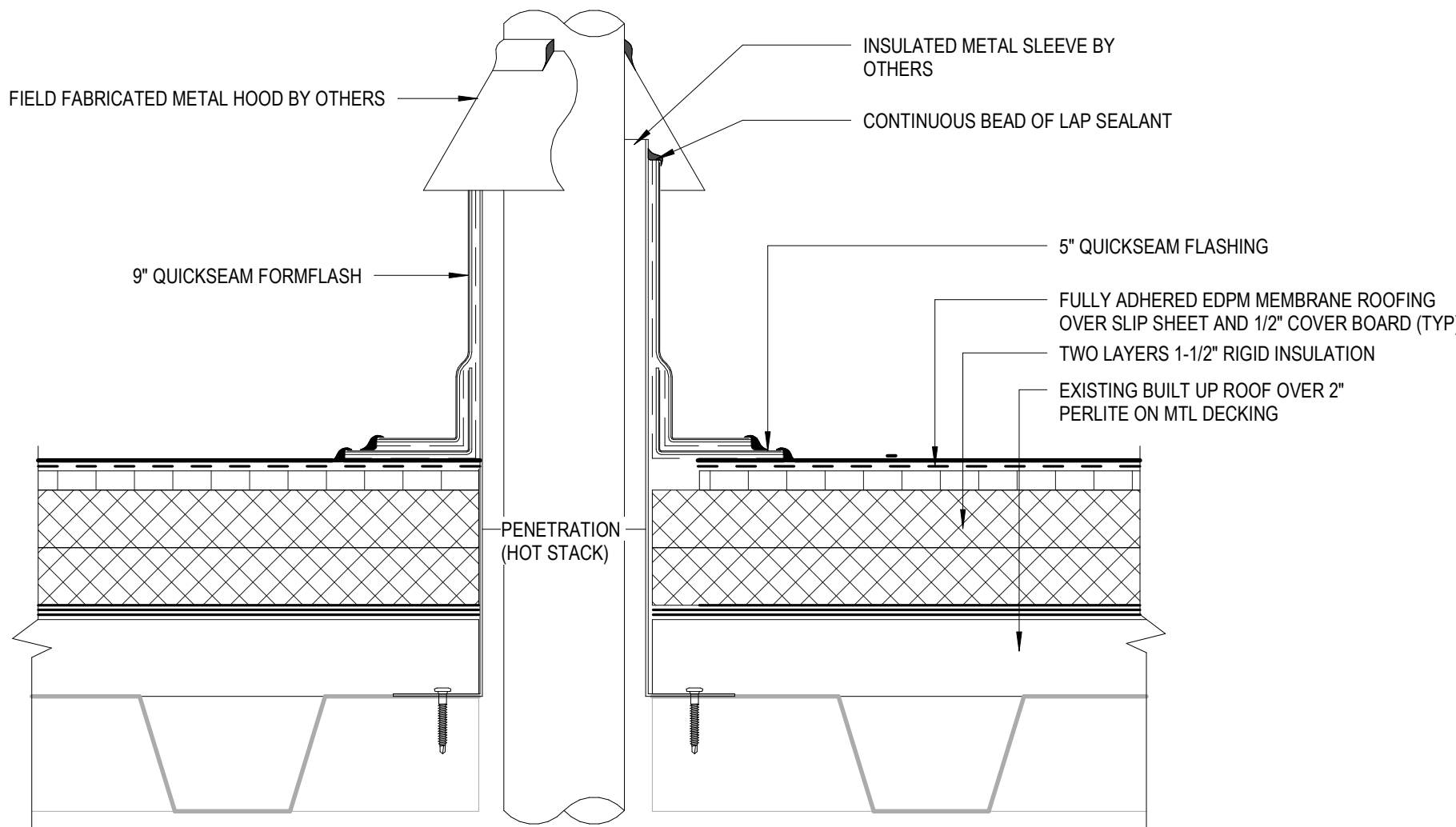
1 TYPICAL FASCIA DETAIL

3" = 1'-0"



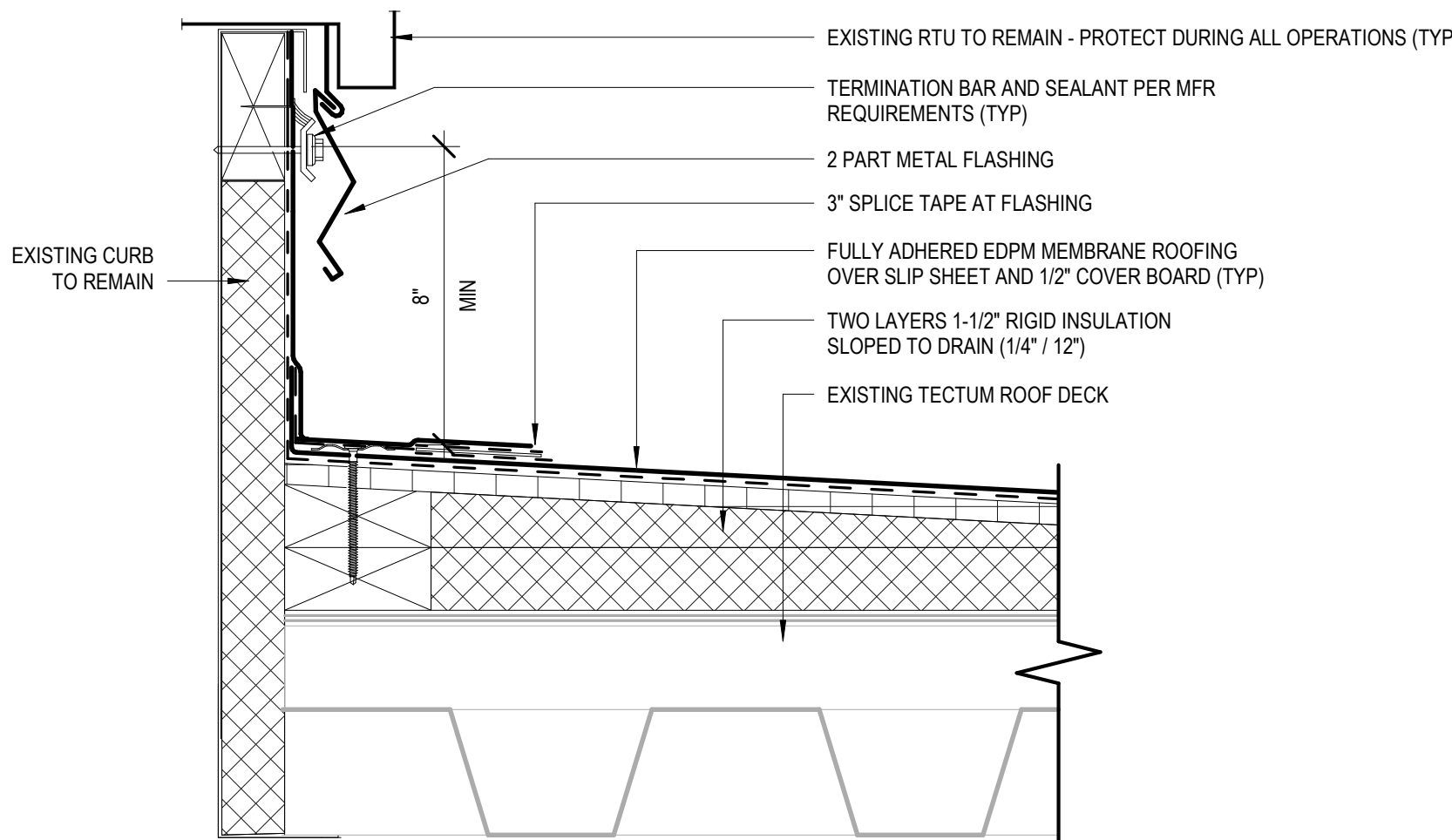
7 TYPICAL ROOF DRAIN

3" = 1'-0"



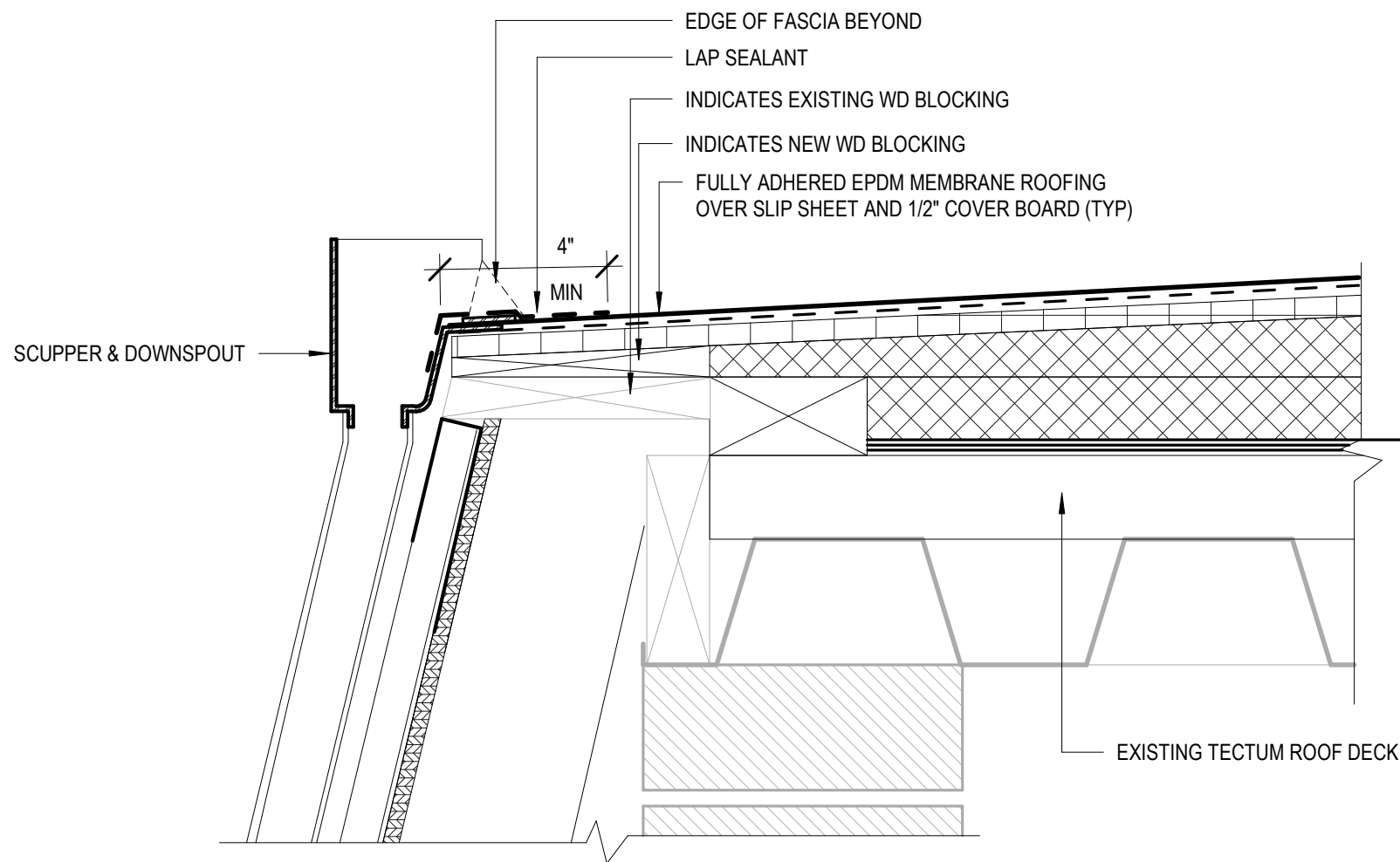
6 TYPICAL HOT STACK

3" = 1'-0"



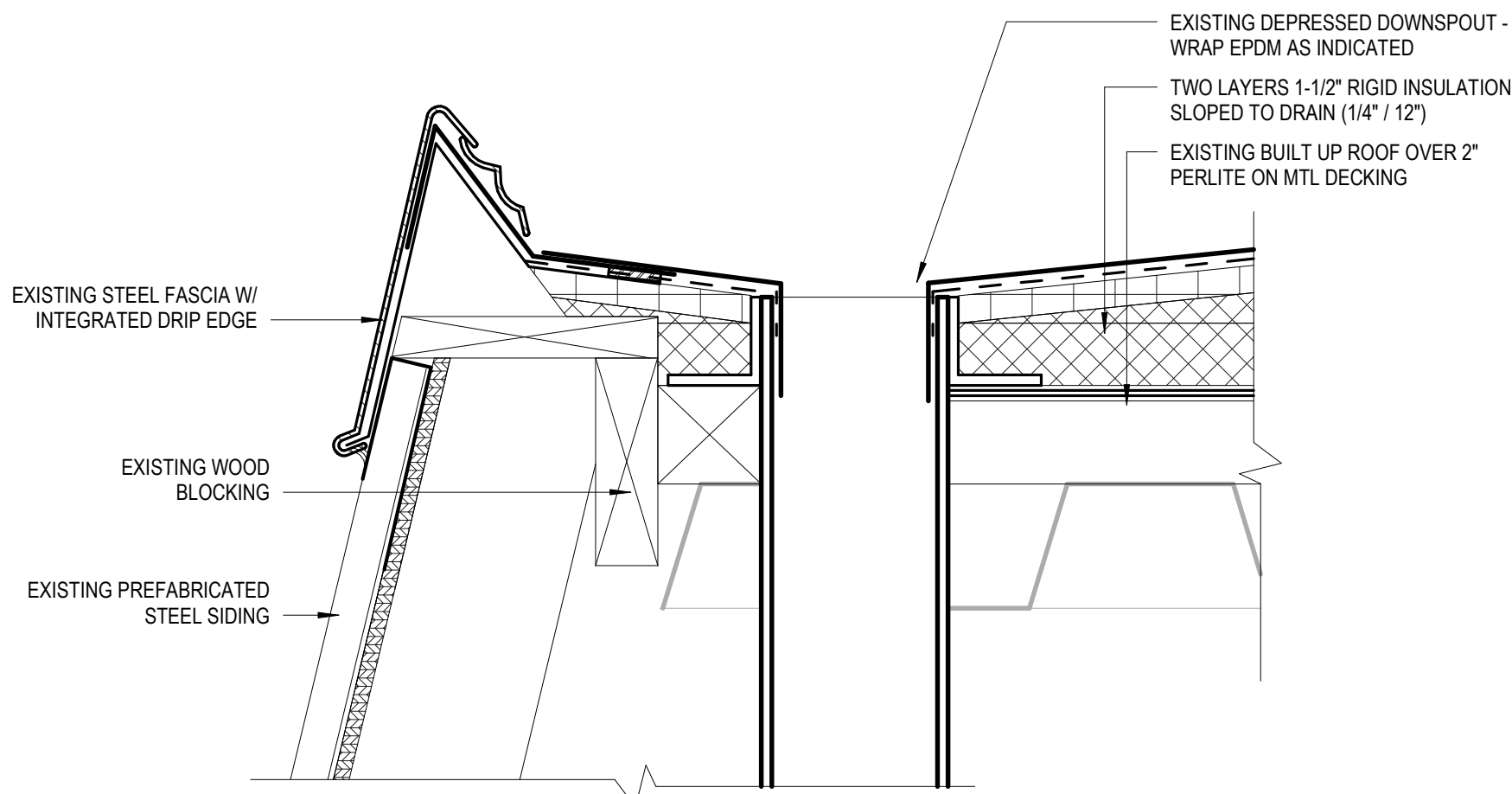
5 TYPICAL CURB FLASHING

3" = 1'-0"



10 ROOF EDGE/ SCUPPER DETAIL

3" = 1'-0"

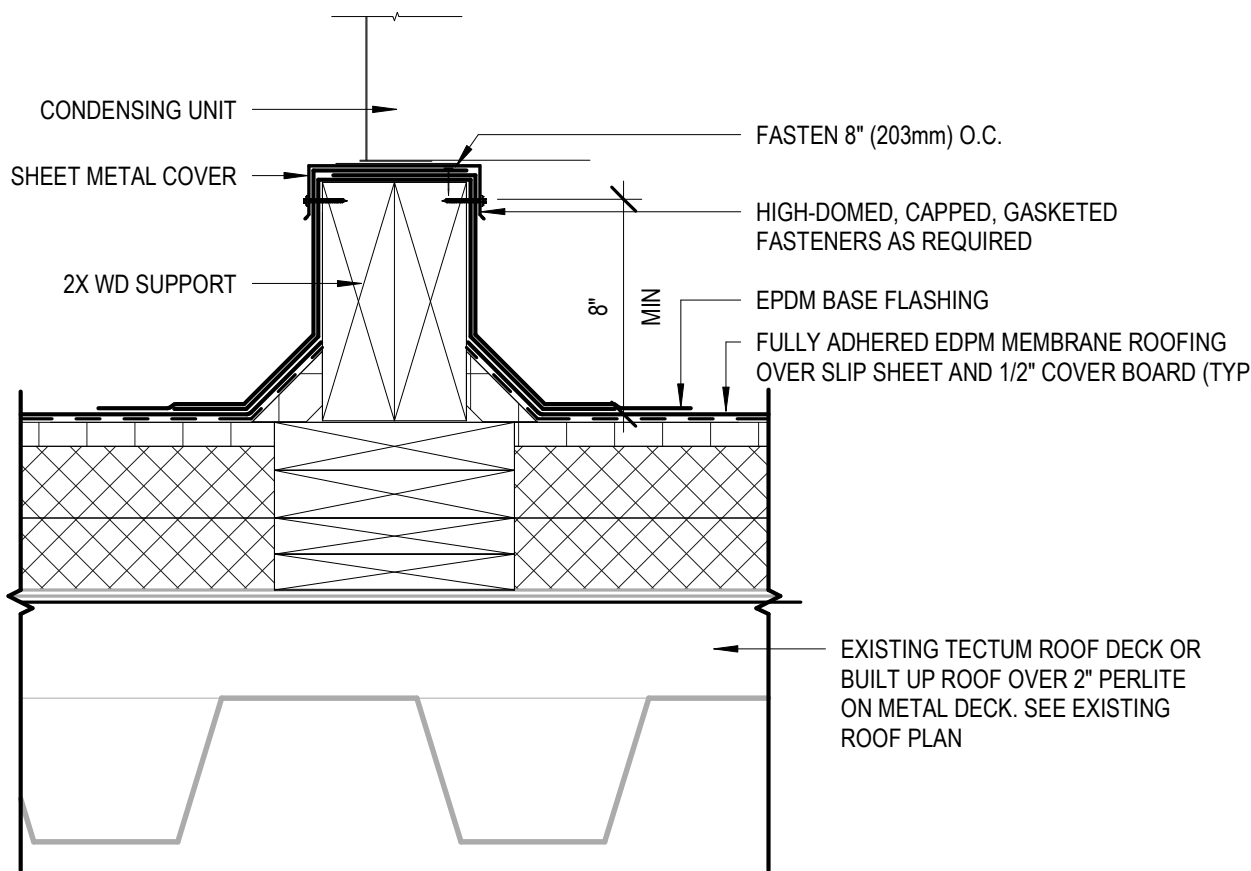


9 TYPICAL FASCIA @ DOWNSPOUT

3" = 1'-0"

NOTES:

- WOOD NAILERS MUST BE INSTALLED WITH SUITABLE FASTENERS TO MEET APPLICABLE BUILDING CODES (200 LBS PER LINEAR FOOT MIN IN ANY GIVEN DIRECTION)
- ALL SHEET METAL IS TO BE INSTALLED PER SMACNA GUIDELINES.
- FLASHING LAPS MUST BE OFFSET FROM FIELD LAPS BY A MINIMUM OF 12" (305mm)



8 EQUIPMENT SUPPORT CURB

3" = 1'-0"

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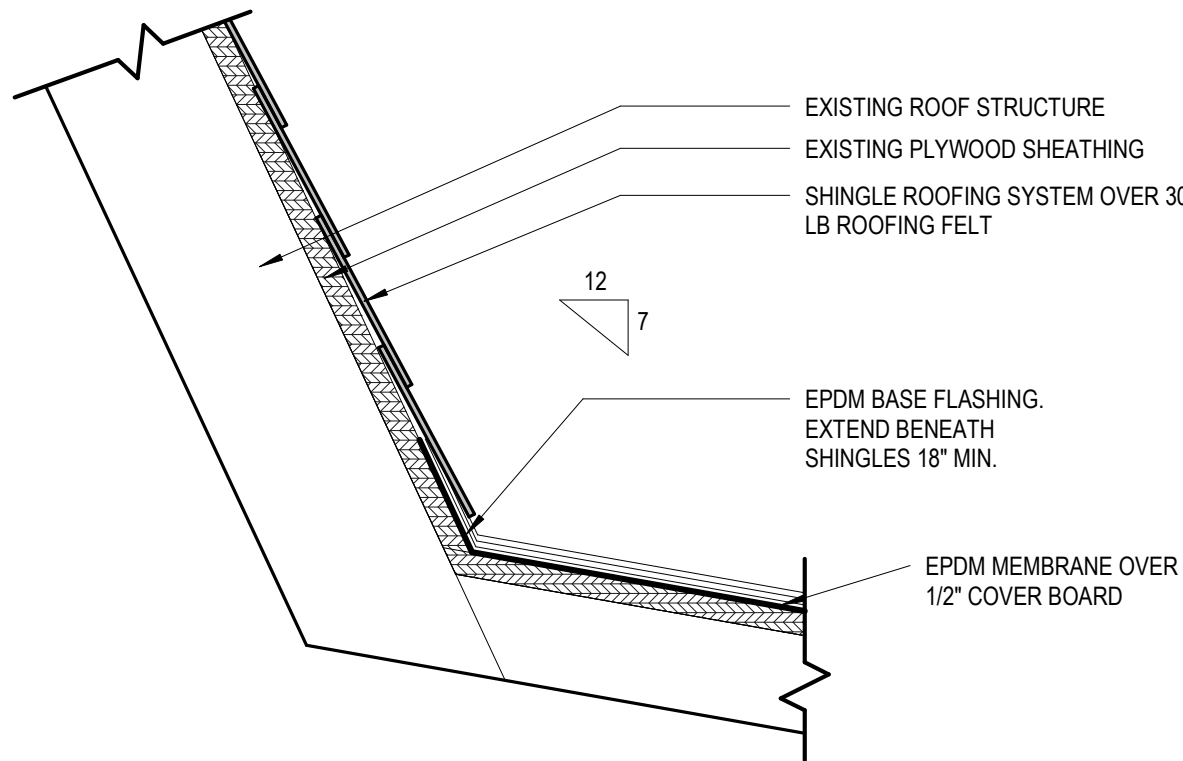


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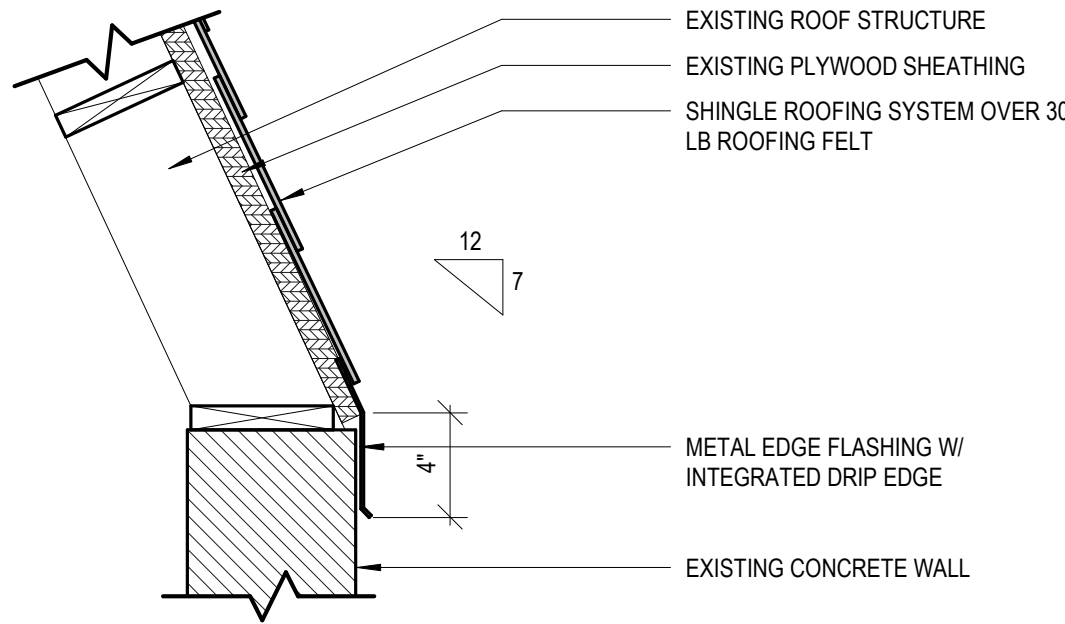
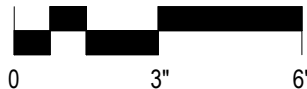
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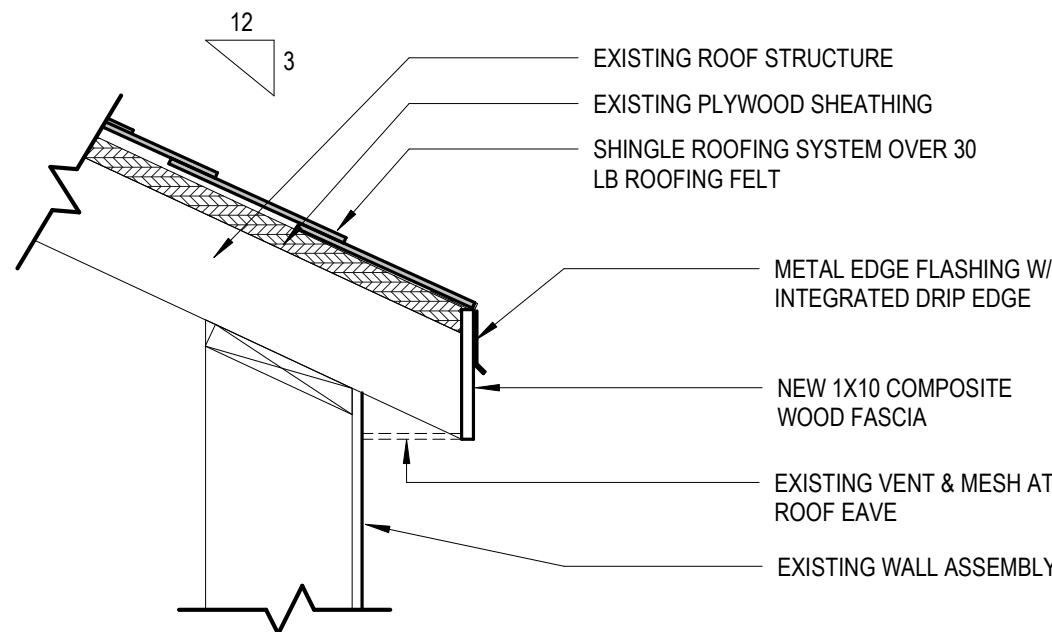
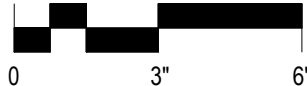
③ SHINGLE TO EPDM TRANSITION

3" = 1'-0"



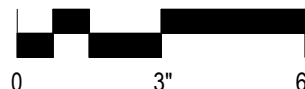
② EDGE FLASHING AT SHINGLE ROOFING

3" = 1'-0"



① FASCIA AT SHED ROOF

3" = 1'-0"




Issue Date	Title
06/11/2021	ISSUED FOR BID

ROOF REPLACEMENT ITB
#2021-007

BROOKENS ADMINISTRATIVE CENTER
SALT DOME/BRINE SHED

Drawing Title

SALT DOME
ARCHITECTURAL
DETAILS

Expiration Date of Seal: 11-30-2021	BE Project No: 020156
	Drawn By: JS
	Drawing No: A901